



A PERFECT ENVIRONMENT

Residential Recreational Responsible

Chair
Ron Troy
Supervisors
Edward Kranick
Christie Dionisopoulos
Steve Michels
Clerk/Treasurer
Dan Green

TOWN OF DELAFIELD BOARD OF SUPERVISORS MEETING TUESDAY, MARCH 9, 2021 – 6:30 P.M. DELAFIELD TOWN HALL – W302 N1254 MAPLE AVENUE, DELAFIELD, WI

AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Citizen Comments: Public comments from citizens regarding items on, or not on the Agenda. The Board may not engage in a discussion with the citizen making the comments. During this period of citizen comments, the following procedures shall apply:
 1. Each citizen wishing to address the Board will have up to three (3) minutes to speak.
 2. Presentations shall be directed to topics subject to Town Board action and related to the Town of Delafield. Presentations are not limited to items on the agenda.
 3. Comments shall be limited to thirty (30) minutes in total, unless otherwise deemed appropriate by the Chairperson or a consensus of the Town Board; the time limit may be increased by increments of 15 minutes.
 4. All citizen comments shall be directed only to the members of the Town Board, and not to Town staff, applicants, other residents, or members of the audience.
 5. Citizens shall not make comments regarding personalities of the Town Board, Town staff, applicants or members of the audience.
 6. Citizen's comments shall not attempt or be designed for the purpose of engaging the Town Board, Town staff, applicants, or members of the audience in a debate, conversation or a question and answer session.
 7. Citizens making comments are not allowed to yield time to another citizen.
 8. Citizens are limited to speaking once during citizen comments
 9. No Board member may address the board during citizen comments.
5. Approval of Minutes:
 - a. February 23, 2020 Town Board Minutes
6. Action on vouchers submitted for payment:
 - A. Report on budget sub-accounts and action to amend 2020 budget
 - B. Report on budget sub-accounts and action to amend 2021 budget
 - C. 1) Accounts payable; 2) Payroll
7. Communications (*for discussion and possible action*)
 - A. Waukesha County Board of Adjustment meeting: March 10, 2021 @ 6:30 p.m.
 - a. After-the-fact variance request for William Halquist, Jr. to permit an existing patio 142 feet from Pewaukee Lake, exceeding the County Shoreland Ordinance restriction of 150 feet.
 - b. After-the-fact variance request for 227 Investments, LLC (Carl Tomich applicant), to exceed the height restrictions in the County Shoreland Ordinance by 3 feet.
 - c. Parks and Recreation Facilities Master Plan Update

8. Unfinished Business - None
9. New Business
 - A. Discussion and possible action on the appointment of Paschal (Pat) Frigo to the Board of Appeals as Alternate #2.
10. Announcements and Planning items
 - A. Joint Public Hearing and Plan Commission – Tuesday, March 16, 2021 @ 6:30PM
 - B. Town Board – TBD
 - C. Plan Commission - TBD
11. Adjournment



Dan Green
Town of Delafield Clerk/Treasurer

PLEASE NOTE:

- ✓ It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.
- ✓ Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Town Clerk Dan Green (262) 646-2398.

TOWN OF DELAFIELD BOARD OF SUPERVISORS MEETING
FEBRUARY 23, 2021 @ 6:30 PM

Members Present: Chairman Troy, Supervisor Kranick, Supervisor Michels and Supervisor Dionisopoulos. Also present was Administrator/Clerk/Treasurer Dan Green.

First order of business: Call to Order
Supervisor Troy called the meeting to order at 6:30 p.m.

Second order of business: Pledge of Allegiance

Third order of business: Roll Call
Supervisors Kranick, Dionisopoulos, Michels and Chairperson Troy.

Fourth order of business: Citizen Comments: None

Fifth order of business:
A. Approval of February 9, 2021 Town Board Minutes

Motion made by Supervisor Kranick to approve the minutes from February 9, 2021. Seconded by Supervisor Dionisopoulos. Motion carried 4-0.

Sixth order of Business: Action on vouchers submitted for payment:
A. Report on budget sub-accounts and action to amend 2020 budget
B. 1) Accounts payable; 2) Payroll

Motion by Supervisor Kranick to approve payment of checks #64437-#64445, #64449-#64509, and in the amount of \$5,584,222.48, and the payrolls dated February 19, 2021 in the amount of \$27,015.07. Seconded by Supervisor Dionisopoulos. Motion carried 4-0.

Seventh order of Business: Communications (*for discussion and possible action*)

A. Mixed Use Ordinance General Update (Discussion Only)
Chairman Troy explained the County submitted a draft ordinance to the Town and residents. He received comments back and it is in the process of being finalized. The ordinance will be on the Tuesday, March 2nd Plan Commission meeting.

B. Commissioners of Public Lands Loan Update
Administrator Green explained that the loan applications that were budgeted for 2021, were approved by the Commissioners of Public Lands.

Eighth order of Business: Unfinished Business - None

Ninth order of Business: New Business
A. Discussion and possible action on the adoption of Resolution 21-645, a resolution to adopt the 2021 Fee Schedule.

Administrator Green reviewed the fee changes being proposed, all regarding the Plan Commission fees. He stated that he reviewed the costs associated with the Plan Commission along with the time spent by staff to determine these costs. He also did a cost comparison with other communities in the area. The fees being proposed are still significantly less than the average costs in the surrounding communities.

Motion by Supervisor Kranick to adopt Resolution 21-645, a resolution to adopt the 2021 Fee Schedule. Seconded by Supervisor Michels. Motion passed 4-0.

- B. Gerald and Tricia Tetzlaff, N41 W28088 Glacier Road, Re: Consideration and possible action on Certified Survey Map to reconfigure land at N41 W28088 Glacier Road and N41 W28010 Ishpaton Lane from 3 lots to 2 lots.

Engineer Tim Barbeau reviewed the background of the application. He explained this area is currently made up of three lots. The owners are proposing reconfiguring these lots to two lots, removing a landlocked portion of property. The applicant also intends to remove an easement on the southwest corner of her property. Mr. Barbeau explained there is a procedure that needs to take place to remove the easement and removing it from the CSM does not remove the easement. He explained he had some technical corrections that will need to be resolved before recording the document.

Motion by Supervisor Kranick to approve a Certified Survey Map to reconfigure land at N41 W28088 Glacier Road and N41 W28010 Ishpaton Lane from 3 lots to 2 lots, subject to technical corrections from the Town Engineer. Seconded by Supervisor Dionisopoulos. Motion passed 4-0.

- C. Discussion and possible action on the adoption of Resolution 21-646, a resolution to designate a quiet zone at the CP railroad crossing at CTH KE and Glacier Road.

Engineer Barbeau explained this process began in 2018, when residents from the Moore Subdivision came to the Town Board to bring forward a request for a quiet zone. The process involved studies from the State, the Federal Government, and the railroad. The FRA has criteria that needs to be met before creating a quiet zone including improvements to the railroad crossings, which have been done in this area. In 2016 the railroad received a grant to upgrade this stretch of rail. The goal from the community was to have the improvements done in 2020. The improvements have been completed included 4 gates at the railroad crossing on CTH KE and Glacier pass. The Town's roll in the process is to endorse the request for the community by adopting the proposed resolution. Mr. Barbeau explained he has heard only positive feedback from the community, and this has been a concern for this area for a long time. He explained that there is still a process moving forward, including a 60-day period for communities in the area to comment on the petition. There would then be a notice of implementation, which requires another 30-day period once noticed.

Chairman Troy added that the Board received 11 comments from residents that were all in favor. Supervisor Kranick noted that the roadway near the railroad crossing needs repair. He asked that Administrator Green reach out to the County Highway Department.

Motion by Supervisor Kranick to adopt Resolution 21-646, a resolution to designate a quiet zone at the CP railroad crossing at CTH KE and Glacier Road. Seconded by Supervisor Dionisopoulos. Motion passed 4-0.

- D. Discussion and possible action on a new Chicken License Application for Megan Novak at N3W31747 Twin Oaks Drive.

Administrator Green reviewed the application and stated the applicant meets the setback requirements.

Motion by Supervisor Kranick to approve a new Chicken License Application for Megan Novak at N2W31747 Twin Oaks Drive. Seconded by Supervisor Michels. Passed 4-0.

- E. Discussion and possible action on a Letter of Credit reduction number 5 for Woodridge Estates in the amount of \$25,552.

Supervisor Kranick recused himself for this item. Engineer Tim Barbeau explained he received a letter from the bank stating they were holding a \$25,000 Letter of Credit and gave us a 90-day notice of cancellation. The Town received a request to reduce the letter of credit to \$0. Highway Superintendent Don Roberts has no issues reducing the Letter of Credit as no additional work is required for the subdivision.

Motion by Supervisor Michels to approve a Letter of Credit reduction number 5 for Woodridge Estates in the amount of \$25,552. Seconded by Supervisor Dionisopoulos. Motion passed 3-0.

Tenth order of Business: Announcements and Planning items

- A. Spring Primary – Tuesday, February 16, 2021
- B. Plan Commission – Thursday, February 18, 2021 @ 6:30PM
- C. Town Board – Tuesday, February 23, 2021 @ 6:30PM

Supervisor Kranick thanked Brandon from the Waukesha County Highway Department for a good job plowing CTH KE and the Town's Highway Department for keeping up the Town Roads.

Eleventh order of Business: Adjournment

Motion by Supervisor Michels to adjourn the February 23, 2021 Town Board meeting at 6:57 p.m. Seconded by Supervisor Kranick. Motion carried 4-0.

Respectfully submitted:

Dan Green, CMC/WCMC
Administrator - Town Clerk/Treasurer

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that the following Joint Public Hearings will be held by the Waukesha County Board of Adjustment on Wednesday, March 10, 2021, at 6:30 p.m. Due to COVID-19, the meeting will be conducted virtually via the Microsoft Teams application and phone access will also be available. The meeting is open to the public and individuals are invited to participate via telephone or Microsoft Teams.

To join the meeting by telephone:

Dial 414-435-2078

Enter Conference ID#: 956 334 640#

To join the meeting by connecting to Microsoft Teams go to:

<https://www.waukeshacounty.gov/planningandzoning>

Meeting links are located on the bottom half of the page.

Written comments can be mailed to the attention of Jacob Heermans, Waukesha County Administration Center, 515 W. Moreland Blvd., Room AC230, Waukesha, Wisconsin, 53188. Comments can be emailed to: jheermans@waukeshacounty.gov. Mailed and emailed comments must be received by Friday, March 5, 2021.

Staff reports and meeting materials will be located on the Waukesha County Planning and Zoning Division webpage at www.waukeshacounty.gov/planningandzoning no later than March 8, 2021. Refer to the Board of Adjustment March 10, 2021 Meeting Documents Heading.

BA74: 227 INVESTMENTS, LLC (OWNER), CARL TOMICH (APPLICANT) request an after-the fact variance from the height requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit the construction of a new single-family residence with an attached garage. The subject property is described as Lot 1 of CSM No. 12093, located in part of the NE ¼ of the SE ¼ of Section 15, T7N, R18E, Town of Delafield. More specifically, the property is located at N26 W30227 Maple Avenue (Tax Key No. DELT 0780.013).

BA75: WILLIAM HALQUIST, JR. (OWNER) requests an after-the-fact variance from the Delafield Shoreland Overlay District shore setback requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit an addition to an existing patio. The subject property is described as Lot 16, Block 1, of Auer Park on Pewaukee Lake, located in part of Sections 13 and 24, T7N, R18E, Town of Delafield. More specifically, the property is located at N22 W28656 Louis Avenue (Tax Key No. DELT 0814.017).

BA76: JODI OLSON (OWNER) requests a variance from the nonconformance to road setback requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit a vertical expansion of an existing great room. The subject property is described as Lots 5 and 6 Frist Subdivision of Lots 1 and 2 Peterson's Plat of Okauchee, located in part of the S ½ of Section 25, T8N, R17E, Town of Oconomowoc. More specifically, the property is located at W345 N5746 Road G (Tax Key No. OCOT 0531.029).

BA77: KATHERINE AND ANDREW RITTENHOUSE (OWNERS), TROY GILES (APPLICANT) request variances from the nonconformance to offset and shore setback requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit the construction of a sunroom, with associated deck, stairs and stair landing. The subject property is located in part of the SE ¼ of Section 19, T8N, R18E, Town of Merton. More specifically, the property is located at N66 W33105 Oakridge Lane (Tax Key No. MRTT 0364.992).

For additional information concerning this public hearing, please contact Jacob Heermans of the Waukesha County Department of Parks and Land Use at 262-548-7790, or via email, as provided above.

All interested parties will be heard.

WAUKESHA COUNTY BOARD OF ADJUSTMENT
Tom Day, Chairman

Legal notice to be published in
The Lake Country Now on
Wednesday, February 24, 2021 and
Wednesday, March 3, 2021

Staff Reports and Recommendations will be available upon request. Please call (262) 548-7790 or email jheermans@waukeshacounty.gov to request a copy of the Staff Report and Recommendation or check our website as noted above.

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE
 PLANNING AND ZONING DIVISION
 515 W. Moreland Blvd. Room AC230
 Waukesha, Wisconsin 53188
 (262) 548-7790

RECEIVED 1.22.21 DEPT
 OF PARKS & LAND USE

Email pod@waukeshacounty.gov Website www.waukeshacounty.gov/planningandzoning

VARIANCES, SPECIAL EXCEPTIONS, AND APPEALS TO THE WAUKESHA COUNTY BOARD OF ADJUSTMENT

Office Use Only: Fee Pd: \$1,270 (ATF) ATF: Y X N ___ Receipt No: 584752 BOA File No.: BA75

Shoreland/Floodland Protection Ordinance X County Zoning Code ___ Airport Height Ordinance ___

Zoning District(s) DSO, R-3

Application is hereby made for a Variance (V), Special Exception (SE) and/or Appeal (A) from the following section(s):

___ Road Setback ___ Offset X Shore Setback ___ Floodplain Setback ___ C-1 (EFD) ___ Wetland Setback

___ Bldg. Footprint ___ Accessory Bldg. Footprint ___ Min. Floor Area ___ Bldg. Height ___ Impervious Surface

___ Work beyond 50% Value X Other (list) DSO Shore Setback

___ Nonconforming Structure Improvements (specify) _____

Town DELAFIELD Address of Subject Property N22 W28656 LOUIS AVE

Tax Key No(s) DELT 0814 017 Section 13 Legal Description Doc 3306940
LOT 16 Block 2 100ft LF Area Parka Parkway Lake Sec 13 E 27 T 7 N R 18
53072

Owner William Walquist Mailing Address N22 W28656 LOUIS AVE City DeLafield State WI Zip 53072 Daytime Phone No. 262 488-9001

Applicant (if different from above) _____ Mailing Address _____ City _____ State _____ Zip _____ Daytime Phone No. _____

Email address and/or fax number if you would like a copy of the staff report forwarded to you prior to the meeting:

wph3561@gmail.com

Describe the proposed construction/request and use in detail:

~~We would like to put in a 700\$ addition to our bluestone or concrete patio with a masonry lower stone set wall on the outside. a 42" round firepit would be integrated into the patio and wall. The concrete foundation has already been poured. The existing concrete & stone wall are 8'-0" too close to the lake. 14'-0" instead of 150'-0". The 150'-0" line does not work with the patio lines, not symmetrical with each other~~

- See typed letter. -

Complete this Section for AREA VARIANCE requests only.

An **Area Variance** is a modification to a dimensional, physical, or locational requirement such as the setback, frontage, height, bulk, or density restriction for a structure. The request must be justified by the applicant using **ALL** of the following criteria in accordance with *Section 59.694, Wis. Stats.*, and the Waukesha County Shoreland & Floodland Protection Ordinance/Zoning Code. The applicant is responsible for justifying each variance type requested (i.e. offset and shore setback). **Attach additional sheets if necessary.**

1. **Compliance with the ordinance would cause the owner to experience an unnecessary hardship.** Unnecessary hardship is proven by demonstrating that strict compliance with a zoning ordinance would unreasonably prevent the property owner from using the property owner's property for a permitted purpose or would render conformity with the zoning ordinance unnecessarily burdensome. A property owner bears the burden of proving that the unnecessary hardship is based on special conditions unique to the property, rather than considerations personal to the property owner, and that the unnecessary hardship was not created by the property owner. Hardships should not be financial or economic in nature. Variances are intended to provide only the minimum amount of relief necessary, and the purposes of the Ordinance shall be observed.

We would like the patio to be symmetrical with the existing patio. They-new and old-are at the same elevation. The 150' line is almost 5' " out of square" with the existing. It is so far from the lake you can't tell where the lake line changes. The semi-circle with 18" wall gives better usage just making the whole patio wider, with less disturbance.

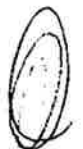
2. **The granting of the variance will not adversely affect the general public interest/welfare or be detrimental to nearby properties/improvements or the natural resources in the area.** Lack of local opposition does not mean a variance will not harm the public interest.

My Neighbors are okay with the changes. The farthest part of the semi-circle is 142' from the lake. There are boathouses on either side of my frontage- one brand new.

Complete this Section for USE VARIANCE requests only.

An **Use Variance** is the authorization for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning ordinance. The request must be justified by the applicant using **ALL** of the following criteria in accordance with *Section 59.694, Wis. Stats.*, and the Waukesha County Shoreland & Floodland Protection Ordinance/Zoning Code. **Attach additional sheets if necessary.**

1. **Compliance with the ordinance would cause the owner to experience an unnecessary hardship.** Unnecessary hardship is proven by demonstrating that strict compliance with the zoning ordinance would leave the property owner with no reasonable use of the property in the absence of a Variance. A property owner bears the burden of proving that the unnecessary hardship is based on conditions unique to the property, rather than considerations personal to the property owner, and that the unnecessary hardship was not created by the property owner.



2. **The granting of the variance will not adversely affect the general public interest/welfare or be detrimental to nearby properties/improvements or the natural resources in the area.** Lack of local opposition does not mean a variance will not harm the public interest.

Complete this Section for **SPECIAL EXCEPTION** requests only.

A **Special Exception** is a minor adjustment to the requirements of the Ordinance, where specifically authorized, and is justified by special conditions of the property. A request must be justified by the applicant using the following criteria. **Attach additional sheets if necessary.**

1. **The granting of the special exception will not adversely affect the general public interest/welfare or adversely affect adjacent property owners. The request will not be detrimental to nearby properties/improvements or the natural resources in the area.** Lack of local opposition does not mean a special exception will not harm the public interest. When reviewing a special exception request from the minimum floor area provisions, the proposed building shall not be of such character or quality as to depreciate the property values of the surrounding area.

ITEMS THAT MUST ACCOMPANY ALL VARIANCES AND SPECIAL EXCEPTIONS:

1. Two (2) copies of an **accurate** site plan/map (a plat of survey is preferred) **drawn to scale** showing the following:
 - A. The boundaries and dimensions of the subject property.
 - B. The location and dimensions of **all existing and** proposed structures **and** buildings on the property.
 - C. The location and dimensions of **all buildings and** structures on adjacent properties.
 - D. The location and centerline of **all** abutting streets.
 - E. The 100-year floodplain, wetland boundary, **and** the ordinary high water mark of any water body which the lot abuts.

NOTE: Maps, plans and surveys shall **not** be reduced, enlarged, or faxed as these functions alter the scale. The scale of the map shall **not** be altered.



2. A zoning permit, wetland notice form, impervious surface worksheet, nonconforming use and structure value worksheet, building plans, grading plan and/or Environmental Health approval may also be required.
3. The required filing fee, payable to the Waukesha County Department of Parks and Land Use. Once the public notice has been sent, this fee is nonrefundable.

- Submittal and subsequent review of this application may include a site inspection. Please advise the staff if dogs are not secured on the site and/or if dogs would be a problem during the inspection. By signing this form, the owner or his/her authorized agent is giving their consent for the Dept. of Parks and Land Use to inspect the site as necessary and related to this application even if the property has been posted against trespassing pursuant to Wis. Stat.
- Please advise the staff of any scheduling conflicts at the time of submittal, and we will attempt to accommodate your schedule.
- Board of Adjustment meetings may not be held every month. The Board has 90 days to hear a request.

ITEMS THAT MUST ACCOMPANY ALL APPEALS REGARDING ADMINISTRATIVE DECISIONS AND/OR CONSERVANCY BOUNDARIES:

1. Documentation that the appeal has been made within twenty (20) days from the date of the decision of the zoning administrator or designee.
2. Written explanation specifying the grounds of the appeal. Specific references to the staff's decision (including a copy of any written decision), applicable sections of the ordinance, and any relevant statutes and/or case law shall be included.
3. The required filing fee, payable to the Waukesha County Department of Parks and Land Use. Once the public notice has been sent, this fee is nonrefundable.

The undersigned owner hereby certifies that all of the above statements, information and attachments contained herein (site plan/survey, building plans, exhibits, etc.) are true and accurate to the best of his or her knowledge and belief.

	1-22-2021
Signature of the Owner	Date
	
Signature of the Applicant	Date
<i>Erica Anderson</i>	2/15/21
Staff member receiving the application	Date

NOTES:

**RECEIVED 1.22.21 DEPT
OF PARKS & LAND USE**

RECEIVED 1.22.21 DEPT
OF PARKS & LAND USE

William Halquist January 22, 2021
N22W28656 Louis Avenue
Pewaukee WI 53072

RE: Variance request

Under: Describe the Proposed construction/request and use in Detail:

We would like to put in an approximate 700 square foot addition to our bluestone on concrete patio, with a full masonry lannon stone sit wall on the outside, with a round 42" firepit integrated. The concrete foundation has already been poured. This concrete with future stone veneer is located 142' from Pewaukee Lake instead of 150'. This is our requested variance. See photos, all distances have been surveyed. Both our immediate neighbors have no objection to the variance.



William Halquist

APPLICATION FOR A ZONING PERMIT

FOR OFFICE USE ONLY (Form Created 11/08/16)		DATE STAMP RECEIVED RECEIVED 1.12.21 DEPT OF PARKS & LAND USE
Fee Pd.: \$160	Receipt No.: 581062	
ATF Yes <input checked="" type="checkbox"/> No	Reviewed by: EA	
PSE approval date: N/A		
ZP Appl. No. D21:001	ZP Permit No. _____	
BOA File No. BA75	SPPO File No. _____	
CU File No. _____		
File: _____	Building Inspector: _____	
Town Assessor: _____	Owner: _____	
Applicant: _____		
Zoning Code: _____	Shoreland and Floodland Protection Ordinance: <input checked="" type="checkbox"/>	
Zoning District(s): R-3, DSO		
Legal Description: LOT 16 BLK 1 100 FT L F AUER PARK ON PEWAUKEE LAKE SEC 13 & 24 T7N R18E DOC# 3706940		
Nonconforming Structure: Yes <input checked="" type="checkbox"/> No		
Nonconforming Use or Nonconforming Structure in Floodplain: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If Yes, a separate Nonconforming Use and Structure Value Worksheet is required.	
Impervious Surface Regulated: Yes <input checked="" type="checkbox"/> No	If Yes, a separate Impervious Surface Worksheet and Application is required.	
Mitigation Required: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If Yes, a separate Mitigation Permitting Worksheet is required.	

APPLICANT - PLEASE READ APPLICATION SUBMITTAL REQUIREMENTS (SEPARATE FORM ATTACHED) AND COMPLETE ALL BELOW:

Town Delafield Tax Key No(s) DEL T081407 Address of Premises N22 W28656 Louise Penzance
 Owner(s) William P. Hiestand Jr Applicant (if different) SS072
 Mailing Address N22 W28656 Louise Penzance WI 53072 Mailing Address _____
 Email Address Wph3561@gmail.com Email Address _____
 Daytime Phone No. (262) 488-9001 Daytime Phone No. (_____) _____

Detailed and complete description of proposed work to be completed and the intended use(s) (attach additional pages, if necessary)
Adding on to existing Blueston Attached with concrete Block Union stop short street wall

Type of existing structures on the lot and the use(s) of each Residence + Garage
 Sanitary Facilities Public sewer No If no, type of private sewage system _____ Sanitary Permit No. (for new construction) _____
 Water Supply Private Other _____ Cost Estimate of Improvements \$ _____

EXISTING STRUCTURE(S)	PROPOSED STRUCTURE(S) only include new sq. ft. for additions
Principal Structure 1 st floor (sq. ft.) <u>2976</u> 2 nd floor (sq. ft.) <u>3521</u>	Principal Structure 1 st Floor (sq. ft.) _____ 2 nd floor (sq. ft.) _____
Att. Garage (sq. ft.) <u>920</u> Basement (sq. ft.) _____ Exposed Yes <input checked="" type="checkbox"/> No Partial	Att. Garage (sq. ft.) _____ Basement (sq. ft.) _____ Exposed Yes <input type="checkbox"/> No Partial
Structure Size Width <u>62'</u> Depth <u>106'</u> Height <u>26'</u>	Structure Size Width <u>62'</u> Depth <u>106'</u> Height _____
Structure Style 1 Story _____ 2 Story _____ Split level _____	Structure Style 1 Story _____ 2 Story _____ Split level _____
No. of Bedrooms <u>5</u> No. of Bathrooms <u>6</u>	No. of Bedrooms _____ No. of Bathrooms _____
Other structures (type/sq. ft.) <u>shed-86 SF</u>	Other Structures (type/sq. ft.) <u>1436-PATIO</u>
Total SF Existing (all SF except basement) <u>7,503 SF</u>	Total SF Proposed (all SF except basement) _____
Total SF (Existing + Proposed) (except basement) <u>7,503</u>	Building Footprint (all roofed structures) <u>3,982 SF</u> Accessory Building Footprint <u>86</u> Total B.F. % <u>10.7%</u>
Size of Lot Average Width <u>92</u> Average Depth <u>104</u>	Total Area (excluding established road ROW) <u>37,100 SF</u>

Proposed setbacks/offsets for planned improvements

	Principal Structure(s)	Accessory Structure(s)	Decks and Patios	Measure to the overhang only if it exceeds two (2) ft., otherwise measure as noted below.
Road Setback	119.4	1	215.3	feet from the building foundation to the established road right-of-way line (base setback line).
Offset	14.4	2	14.4	feet from building foundation to the (N,S,E,W) <u>E</u> property line.
Offset	14	2	14	feet from building foundation to the (N,S,E,W) <u>W</u> property line.
Offset	170	2	138.6 (NC)	feet from building foundation to the (N,S,E,W) <u>N</u> property line.
Floodplain setback		1		feet from building foundation to the floodplain (FP elevation _____ datum _____).
Wetland setback		2		feet from building foundation to the wetland.
Shore setback	170	2	138.6 (NC)	feet from closest point of structure to the OHWM.

The undersigned states that the foregoing information is true and accurate to the best of his/her knowledge; it is hereby agreed that for and in consideration of the issuance of a zoning permit that the foregoing work will be carried out as defined in this application; that all applicable ordinances or codes of the state, county, and town will be complied with in carrying out the proposed work stated in the application; and that work will not commence before a building permit has been obtained from the town building inspector. If any changes or deviations are made from the original application, a new permit is required. Failure to comply with the permit as issued will result in the revocation of the permit or other penalties. By signing this form, the owner or his/her authorized agent is giving their consent for the Dept. of Parks and Land Use to inspect the site as necessary and related to this application even if the property has been posted against trespassing pursuant to Wis. Stat.; and serves as your signature for the wetland notice included.

Signature of Owner [Signature] Date 1-11-2021
 Application Approved Denied by Zoning Administrator _____ Date _____

**WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE
PLANNING AND ZONING DIVISION**

515 W. Moreland Blvd. Room AC 230 Waukesha, Wisconsin 53188 (262) 548-7790
Email pod@waukeshacounty.gov Website www.waukeshacounty.gov/planningandzoning

RECEIVED 1.12.21 DEPT
OF PARKS & LAND USE

IMPERVIOUS SURFACE PERMITTING WORKSHEET AND APPLICATION

FOR OFFICE USE ONLY

Fee Pd.: NA Receipt No.: _____ ATF Y/N: Y Reviewed by: EA ZP Appl. No. D21:001
 File Copy: _____ Building Inspector: _____ Owner: _____ Applicant: _____ ZP Permit No. _____
 Compliance with Zoning Ordinance: Yes No Legal Description _____

Property Owner: <u>William P Hecoust Jr</u> Tax Key No(s): <u>DELTO814017</u> Address of Premises: <u>N22 W28656 LOUISIANA</u> <u>For Town of Delafres</u> Mailing Address: <u>Peuncker W2 53072</u> E-Mail Address: <u>Wph3561@gmail.com</u> Phone No.: <u>262-696-4473 home 262-488</u> Use of Property (check one) <input checked="" type="checkbox"/> Residential <u>-9001 cell</u> <input type="checkbox"/> Nonresidential	<p align="center">(Complete only if different from Owner Information)</p> Applicant: _____ Company: _____ Mailing Address: _____ E-Mail Address: _____ Phone No.: _____
---	--

Applicability of Impervious Surface (IS) Regulation
(construction, reconstruction, expansion, replacement and relocation)

- Waterfront (riparian) lot – if any portion of the improvements are within 300 ft. of a waterway.
 Offshore (non-riparian) lot located entirely within 300 ft. of a waterway.

Permitted Maximum Impervious Surface (IS) Percentages

<u>General Standard</u>	<u>Highly Developed Shorelines – shown as a data layer on Waukesha County GIS site*</u>
15% (without mitigation)	30% residential use or 40% nonresidential use (without mitigation)
30% (with mitigation)	40% residential use or 60% nonresidential use (with mitigation)

Go to: <https://www.waukeshacounty.gov/interactivemap/> to find impervious surface applicability layer and enter "Impervious Surface" in the filter layers search box.

NOTES: Existing legal IS, if placed on or prior to Oct. 1, 2016, can be maintained, repaired, replaced, relocated or modified. Treated impervious surfaces (TIS) are exempt. A Land Resources Division *Stormwater Permit* is required, prior to installation of TIS. If mitigation is required, a separate *Mitigation Permitting Worksheet* shall be completed.

(Please complete Page 2 of this form)

Calculation of Impervious Surface (IS)

Attach a scaled Plat of Survey or a scaled Site Plan identifying all existing and proposed IS, including the type. All other features required on a Plat of Survey or a Site Plan for an Application for a Zoning Permit shall also be included (see Zoning Permit Submittal Form and Checklist).

Complete the following table (Note: Exclude decks, patios, etc. that are directly below other impervious surfaces)

Type of Impervious Surface	Existing Square Footage	Post-Project Total Sq. Ft. (complete below prior to project)
INCLUDE ENTIRE OVERHANG AREA FOR ALL BUILDINGS		
1. Dwelling, include overhangs	> 4751	4751
2. Attached Garage, include overhangs		
3. Accessory building # 1, include overhangs (c.g., detached garage, shed, barn, boathouse, pole building, etc.)	86	86
4. Accessory building # 2, include overhangs	—	—
5. Sum of additional accessory buildings (if more than two exist), include overhangs		
6. Deck(s)	—	—
7. Patio(s)	182	1618
8. Retaining walls (one sq. ft. per lineal ft.)	included	included
9. Driveways (incl. paved, concrete, gravel and compacted areas)	3036	3036
10. Sidewalks (incl. paved, concrete, gravel and compacted areas)	none	none
11. Miscellaneous impervious surfaces		
12. Total Impervious Surface Area (total of lines 1 through 11)	9485 8055 sq. ft.	9485.00 sq. ft.

Lot Size (excluding the established road right-of-way)	378227	sq. ft.
Total % of Impervious Surface (IS) taken from above table	9485	sq. ft. / 378227 lot size x 100 = 25.08%
Total % Treated Impervious Surface (TIS), if applicable		sq. ft. / lot size x 100 = %
Total % Impervious Surface (minus TIS)		sq. ft. / lot size x 100 = %

I, the owner, understand that I need to obtain an Access Permit for any newly proposed accesses to the property that directly abut a public road.

I, the owner, acknowledge responsibility for the accuracy of the information provided. Inaccuracies may result in an ordinance violation.

Signature (owner)  Date 1-11-2021

Application (approved) (denied) by Zoning Administrator _____ Date _____

This form applies to all seven types of Zoning Permit application forms/permitting worksheets, Conditional Use Permits, and Site Plan/Plan of Operation Use Permits.

NOTICE OF WETLAND INFORMATION

In accordance with Wisconsin State Statute 59.691, beginning **January 1, 2011**, counties are required to provide the following written notice when issuing certain permits. This information is provided to give you notice regarding potential wetlands. Specifically the statute states: "YOU ARE RESPONSIBLE FOR COMPLYING WITH STATE AND FEDERAL LAWS CONCERNING CONSTRUCTION NEAR OR ON WETLANDS, LAKES, AND STREAMS. WETLANDS THAT ARE NOT ASSOCIATED WITH OPEN WATER CAN BE DIFFICULT TO IDENTIFY. FAILURE TO COMPLY MAY RESULT IN REMOVAL OR MODIFICATION OF CONSTRUCTION THAT VIOLATES THE LAW OR OTHER PENALTIES OR COSTS. FOR MORE INFORMATION, VISIT THE DEPARTMENT OF NATURAL RESOURCES WETLANDS IDENTIFICATION WEB PAGE www.dnr.wi.gov/wetlands OR CONTACT A DEPARTMENT OF NATURAL RESOURCES SERVICE CENTER ."

WAUKESHA OFFICE
DNR SERVICE CENTER
141 NW BARSTOW ROOM 180
WAUKESHA WI 53188
262-574-2100-phone
262-574-2117-fax

RECEIVED 1.12.21 DEPT
OF PARKS & LAND USE

In lieu of having you return to our office to sign this form upon issuance of your permit, please be advised that by signing this form at the time of application, you are acknowledging receipt of the above notice of the wetland information. If you would like to return to our office at the time we issue your permit and sign the form, you do not have to sign the form at the time of application. However, this may delay the mailing of your permit, when applicable.

Owner's signature/date



1-11-2021

File No. D21:001

Tax Key No. DELT 0814017

Street Name/Section No./Town (for Floodplain Development in ROW Permits only)

Waukesha County Department of Parks and Land Use
Planning and Zoning Division
515 W. Moreland Blvd. • Room AC230
Waukesha, Wisconsin 53188
Phone: (262) 548-7790 • Fax: (262) 896-8071
www.waukeshacounty.gov/planningandzoning



LOT DATA TABLE

TOTAL AREA: [1] 37,822.27 SF (0.868 AC) [TO LAKE]
(36,734.35 SF TO MEANDER LINE)

LOT COVERAGE INFORMATION: [2]

EXISTING HOME: 4,751 SF (12.56%)
EXISTING SHED: 86 SF
SUBTOTAL EXISTING STRUCTURES: 4,837 SF (12.79%)

EXISTING DRIVEWAY: 3,030 SF
EXISTING DECK (ABOVE LANDSCAPING): 182 SF
PROPOSED STONE PATIO WITH WALL & STEPS: 1,436 SF
SUBTOTAL PAVEMENT, PATIO & DECK: 4,648 SF (12.29%)

TOTAL PROPOSED IMPERVIOUS AREA: 9,485 SF (25.08%)
(Total excluding Ex Deck above landscaping = 9,303 sf)

TOTAL OPEN SPACE: 28,337.27 SF (74.92%)

[1] Lot Area based on property survey provided by Owner, measured to the field located edge of Pewaukee Lake

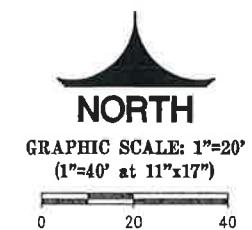
[2] Lot coverage information is based on field survey by Trio Engineering in January 2021

Existing topography is per Waukesha County GIS (2015)

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OF PARKS & LAND USE

ATF patio for
BOA case



4100 N CALHOUN ROAD, STE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1400
FAX: (262) 790-1401
E/MAIL: Info@trioeng.com

PROJECT:
N22W28656 LOUIS AVENUE
WILLIAM P HALQUIST JR RESIDENCE
Town of Delafield, Wisconsin

REVISION HISTORY

DATE	DESCRIPTION
01/11/2021	Lot Coverage

DATE:
JANUARY 11, 2021

JOB NUMBER:
21-002-252

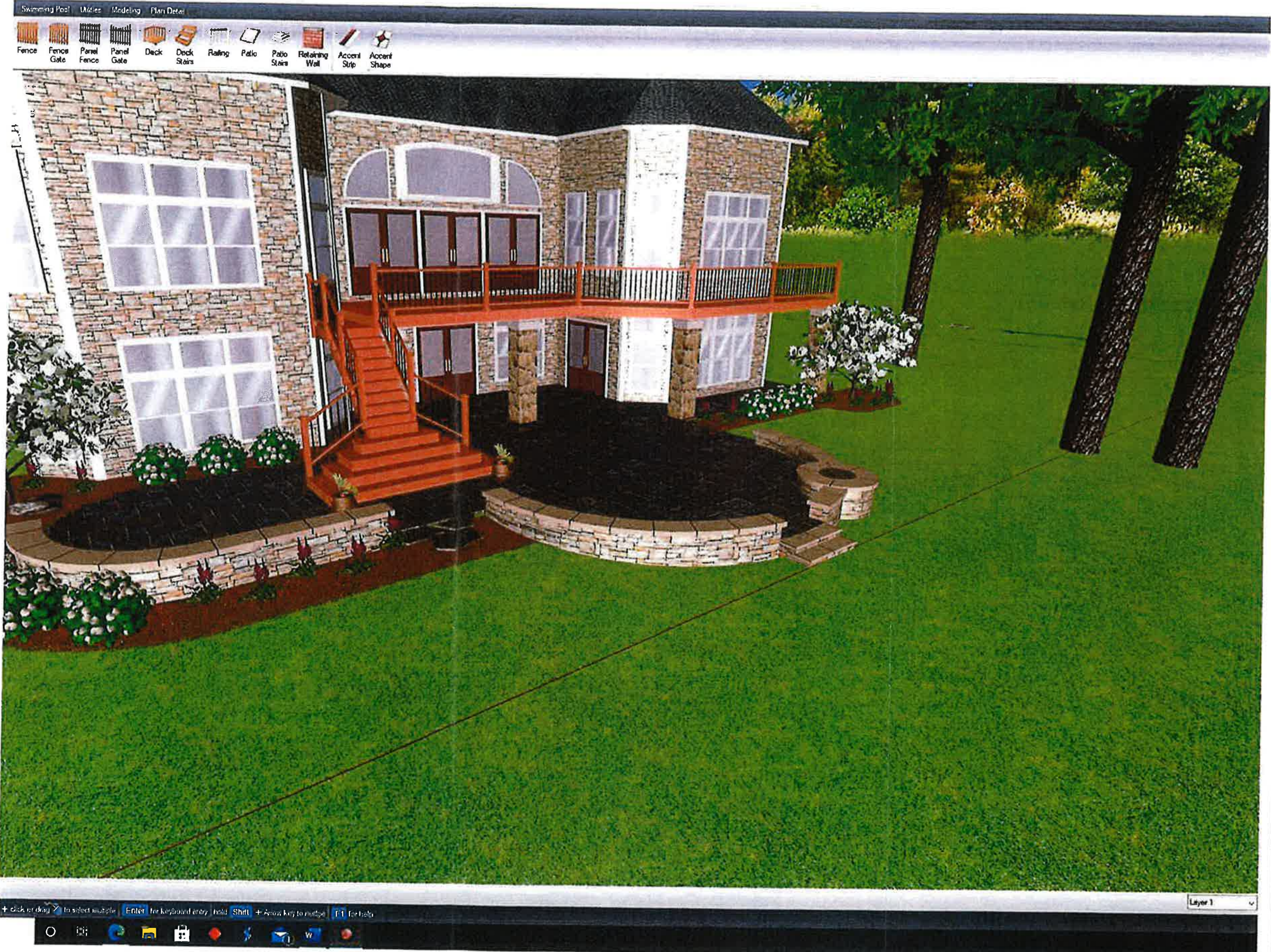
DESCRIPTION:
LOT COVERAGE
PLAN

SHEET

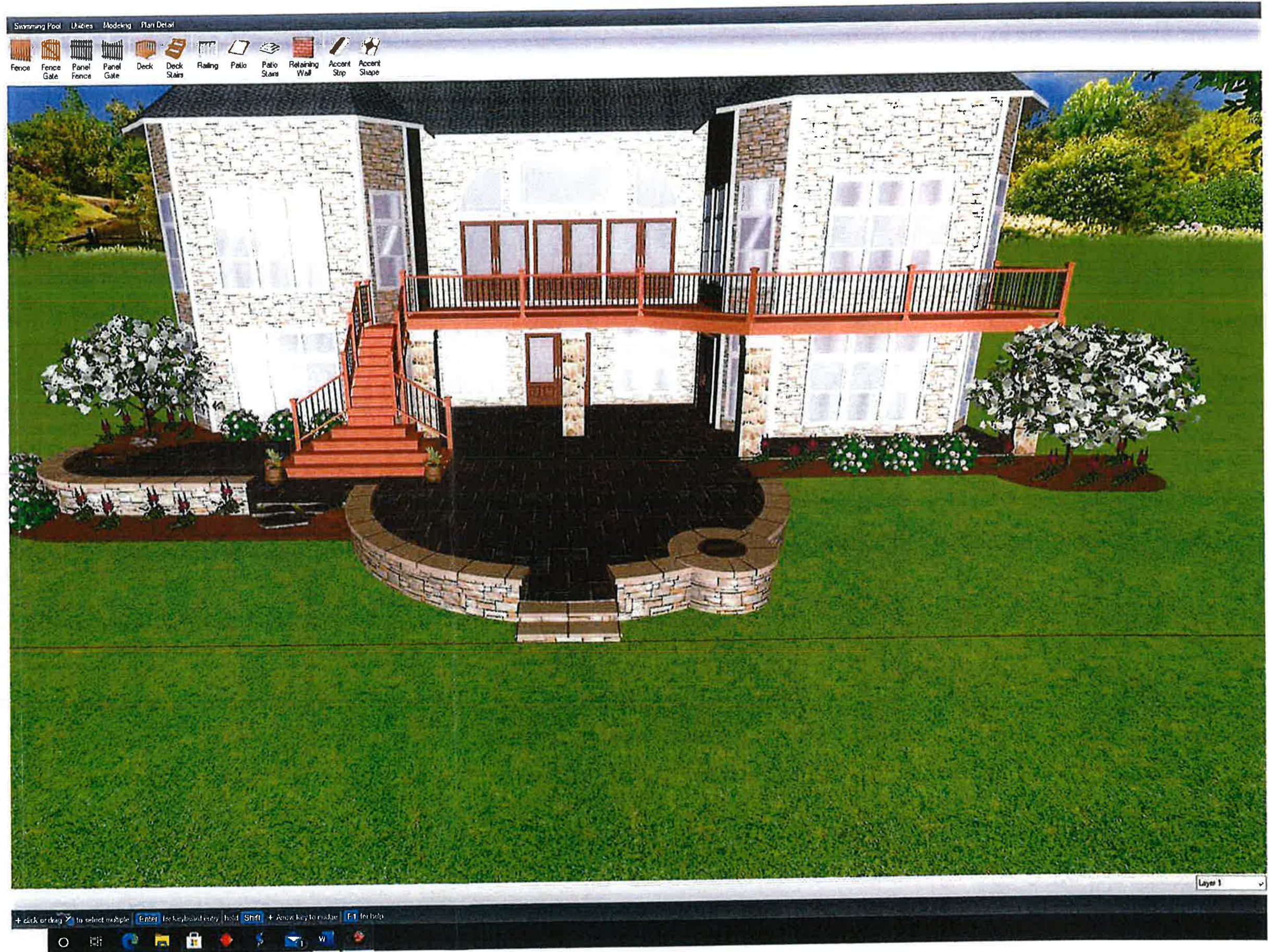
C1.1

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OF PARKS & LAND USE

ATF PATIO,
SEATED WALL,
FIREPIT



RECEIVED 1.22.21 DEPT
OF PARKS & LAND USE



NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN that the following Joint Public Hearings will be held by the Waukesha County Board of Adjustment on Wednesday, March 10, 2021, at 6:30 p.m. Due to COVID-19, the meeting will be conducted virtually via the Microsoft Teams application and phone access will also be available. The meeting is open to the public and individuals are invited to participate via telephone or Microsoft Teams.

To join the meeting by telephone:
Dial 414-435-2078
Enter Conference ID#: 956 334 640#

To join the meeting by connecting to Microsoft Teams go to:
<https://www.waukeshacounty.gov/planningandzoning>

Meeting links are located on the bottom half of the page.

Written comments can be mailed to the attention of Jacob Heermans, Waukesha County Administration Center, 515 W. Moreland Blvd., Room AC230, Waukesha, Wisconsin, 53188. Comments can be emailed to: jheermans@waukeshacounty.gov. Mailed and emailed comments must be received by Friday, March 5, 2021.

Staff reports and meeting materials will be located on the Waukesha County Planning and Zoning Division webpage at www.waukeshacounty.gov/planningandzoning no later than March 8, 2021. Refer to the Board of Adjustment March 10, 2021 Meeting Documents Heading.

BA74: 227 INVESTMENTS, LLC (OWNER), CARL TOMICH (APPLICANT) request an after-the-fact variance from the height requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit the construction of a new single-family residence with an attached garage. The subject property is described as Lot 1 of CSM No. 12093, located in part of the NE ¼ of the SE ¼ of Section 15, T7N, R18E, Town of Delafield. More specifically, the property is located at N26 W30227 Maple Avenue (Tax Key No. DELT 0780.013).

BA75: WILLIAM HALQUIST, JR. (OWNER) requests an after-the-fact variance from the Delafield Shoreland Overlay District shore setback requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit an addition to an existing patio. The subject property is described as Lot 16, Block 1, of Auer Park on Pewaukee Lake, located in part of Sections 13 and 24, T7N, R18E, Town of Delafield. More specifically, the property is located at N22 W28656 Louis Avenue (Tax Key No. DELT 0814.017).

BA76: JODI OLSON (OWNER) requests a variance from the nonconformance to road setback requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit a vertical expansion of an existing great room. The subject property is described as Lots 5 and 6 Frist Subdivision of Lots 1 and 2 Peterson's Plat of Okauchee, located in part of the S ½ of Section 25, T8N, R17E, Town of Oconomowoc. More specifically, the property is located at W345 N5746 Road G (Tax Key No. OCOT 0531.029).

BA77: KATHERINE AND ANDREW RITTENHOUSE (OWNERS), TROY GILES (APPLICANT) request variances from the nonconformance to offset and shore setback requirements of the Waukesha County Shoreland and Floodland Protection Ordinance to permit the construction of a sunroom, with associated deck, stairs and stair landing. The subject property is located in part of the SE ¼ of Section 19, T8N, R18E, Town of Merton. More specifically, the property is located at N66 W33105 Oakridge Lane (Tax Key No. MRTT 0364.992).

For additional information concerning this public hearing, please contact Jacob Heermans of the Waukesha County Department of Parks and Land Use at 262-548-7790, or via email, as provided above.

All interested parties will be heard.

WAUKESHA COUNTY BOARD OF ADJUSTMENT
Tom Day, Chairman

Legal notice to be published in
The Lake Country Now on
Wednesday, February 24, 2021 and
Wednesday, March 3, 2021

Staff Reports and Recommendations will be available upon request. Please call (262) 548-7790 or email jheermans@waukeshacounty.gov to request a copy of the Staff Report and Recommendation or check our website as noted above.

RECEIVED 1.06.21 DEPT
OF PARKS & LAND USE

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE
PLANNING AND ZONING DIVISION
515 W. Moreland Blvd. Room AC230
Waukesha, Wisconsin 53188
(262) 548-7790

Email pod@waukeshacounty.gov Website www.waukeshacounty.gov/planningandzoning

VARIANCES, SPECIAL EXCEPTIONS, AND APPEALS TO THE WAUKESHA COUNTY BOARD OF ADJUSTMENT

Office Use Only: Fee Pd: NA ATF: Y N Receipt No: na BOA File No.: BA74

Shoreland/Floodland Protection Ordinance County Zoning Code _____ Airport Height Ordinance _____

Zoning District(s) R-3 Issued ZP D20:037

Application is hereby made for a Variance (V), Special Exception (SE) and/or Appeal (A) from the following section(s):

_____ Road Setback _____ Offset _____ Shore Setback _____ Floodplain Setback _____ C-1 (EFD) _____ Wetland Setback

_____ Bldg. Footprint _____ Accessory Bldg. Footprint _____ Min. Floor Area Bldg. Height _____ Impervious Surface

_____ Work beyond 50% Value _____ Other (list) _____

_____ Nonconforming Structure Improvements (specify) _____

Town Delafield Address of Subject Property N26W30227 MAPLE AVE

Tax Key No(s) DELT0780013 Section 15 Legal Description _____
Lot 1 of CSM No. 12093

<u>227 INVESTMENTS LLC</u>	<u>N8W22520 JOHNSON DR STE L</u>	<u>Waukesha</u>	<u>WI 53186</u>	<u>(262) 547-0326</u>
Owner	Mailing Address	City	State Zip	Daytime Phone No.
<u>Carl Tomich</u>	<u>same</u>	<u>same</u>	<u>same</u>	<u>() same</u>
Applicant (if different from above)	Mailing Address	City	State Zip	Daytime Phone No.

Email address and/or fax number if you would like a copy of the staff report forwarded to you prior to the meeting:

carlt@westridgebuilders.com

Describe the proposed construction/request and use in detail:

After the fact variance to approve height. Zoning Permit approved in error (residence exceeds max 35' height for flat roof structures.

Complete this Section for **AREA VARIANCE** requests only.

An **Area Variance** is a modification to a dimensional, physical, or locational requirement such as the setback, frontage, height, bulk, or density restriction for a structure. The request must be justified by the applicant using **ALL** of the following criteria in accordance with *Section 59.694, Wis. Stats.*, and the Waukesha County Shoreland & Floodland Protection Ordinance/Zoning Code. The applicant is responsible for justifying each variance type requested (i.e. offset and shore setback). **Attach additional sheets if necessary.**

1. **Compliance with the ordinance would cause the owner to experience an unnecessary hardship.** Unnecessary hardship is proven by demonstrating that strict compliance with a zoning ordinance would unreasonably prevent the property owner from using the property owner's property for a permitted purpose or would render conformity with the zoning ordinance unnecessarily burdensome. A property owner bears the burden of proving that the unnecessary hardship is based on special conditions unique to the property, rather than considerations personal to the property owner, and that the unnecessary hardship was not created by the property owner. Hardships should not be financial or economic in nature. Variances are intended to provide only the minimum amount of relief necessary, and the purposes of the Ordinance shall be observed.

I can not change the height at this point. We have ordered extremely expensive sliding doors for this project that go from floor to ceiling on all 3 levels plus trusses are also in production for floors and ceiling. IT IS IMPOSSIBLE TO CHANGE HEIGHT WITH OUT A COST OF OVER \$300K.

2. **The granting of the variance will not adversely affect the general public interest/welfare or be detrimental to nearby properties/improvements or the natural resources in the area.** Lack of local opposition does not mean a variance will not harm the public interest.

Complete this Section for **USE VARIANCE** requests only.

An **Use Variance** is the authorization for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning ordinance. The request must be justified by the applicant using **ALL** of the following criteria in accordance with *Section 59.694, Wis. Stats.*, and the Waukesha County Shoreland & Floodland Protection Ordinance/Zoning Code. **Attach additional sheets if necessary.**

1. **Compliance with the ordinance would cause the owner to experience an unnecessary hardship.** Unnecessary hardship is proven by demonstrating that strict compliance with the zoning ordinance would leave the property owner with no reasonable use of the property in the absence of a Variance. A property owner bears the burden of proving that the unnecessary hardship is based on conditions unique to the property, rather than considerations personal to the property owner, and that the unnecessary hardship was not created by the property owner.

2. **The granting of the variance will not adversely affect the general public interest/welfare or be detrimental to nearby properties/improvements or the natural resources in the area.** Lack of local opposition does not mean a variance will not harm the public interest.

Complete this Section for **SPECIAL EXCEPTION** requests only.

A **Special Exception** is a minor adjustment to the requirements of the Ordinance, where specifically authorized, and is justified by special conditions of the property. A request must be justified by the applicant using the following criteria. **Attach additional sheets if necessary.**

1. **The granting of the special exception will not adversely affect the general public interest/welfare or adversely affect adjacent property owners. The request will not be detrimental to nearby properties/improvements or the natural resources in the area.** Lack of local opposition does not mean a special exception will not harm the public interest. When reviewing a special exception request from the minimum floor area provisions, the proposed building shall not be of such character or quality as to depreciate the property values of the surrounding area.

ITEMS THAT MUST ACCOMPANY ALL VARIANCES AND SPECIAL EXCEPTIONS:

1. Two (2) copies of an **accurate** site plan/map (a plat of survey is preferred) **drawn to scale** showing the following:

- A. The boundaries and dimensions of the subject property.
- B. The location and dimensions of **all existing and proposed structures and buildings** on the property.
- C. The location and dimensions of **all buildings and structures** on adjacent properties.
- D. The location and centerline of **all abutting streets**.
- E. The 100-year floodplain, wetland boundary, **and** the ordinary high water mark of any water body which the lot abuts.

NOTE: Maps, plans and surveys shall **not** be reduced, enlarged, or faxed as these functions alter the scale. The scale of the map shall **not** be altered.

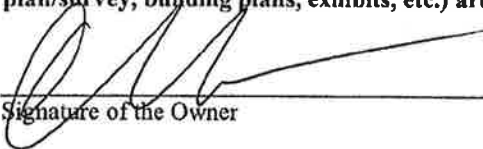
2. A zoning permit, wetland notice form, impervious surface worksheet, nonconforming use and structure value worksheet, building plans, grading plan and/or Environmental Health approval may also be required.
 3. The required filing fee, payable to the Waukesha County Department of Parks and Land Use. Once the public notice has been sent, this fee is nonrefundable.
- Application must be **complete** upon submittal. Once the public notice has been sent, **no changes to the request may be made.** If any changes or deviations from the original application are desired after the public notice has been sent, a new application will be required.
 - Variances from multiple ordinance provisions may be requested as part of a single application, but only one **proposal** may be made per application. **Each alternative proposal** will be considered a **separate** request and require a **separate** application packet and fee.

- Submittal and subsequent review of this application may include a site inspection. Please advise the staff if dogs are not secured on the site and/or if dogs would be a problem during the inspection. By signing this form, the owner or his/her authorized agent is giving their consent for the Dept. of Parks and Land Use to inspect the site as necessary and related to this application even if the property has been posted against trespassing pursuant to Wis. Stat.
- Please advise the staff of any scheduling conflicts at the time of submittal, and we will attempt to accommodate your schedule.
- Board of Adjustment meetings may not be held every month. The Board has 90 days to hear a request.

ITEMS THAT MUST ACCOMPANY ALL APPEALS REGARDING ADMINISTRATIVE DECISIONS AND/OR CONSERVANCY BOUNDARIES:

1. Documentation that the appeal has been made within twenty (20) days from the date of the decision of the zoning administrator or designee.
2. Written explanation specifying the grounds of the appeal. Specific references to the staff's decision (including a copy of any written decision), applicable sections of the ordinance, and any relevant statutes and/or case law shall be included.
3. The required filing fee, payable to the Waukesha County Department of Parks and Land Use. Once the public notice has been sent, this fee is nonrefundable.

The undersigned owner hereby certifies that all of the above statements, information and attachments contained herein (site plan/survey, building plans, exhibits, etc.) are true and accurate to the best of his or her knowledge and belief.



 Signature of the Owner

1/4/21

 Date

 Signature of the Applicant
Benjamin Greenberg

 Staff member receiving the application

 Date
1.6.21

 Date

NOTES:

Benjamin Greenberg

From: Carl Tomich <carlt@westridgebuilders.com>
Sent: Tuesday, February 16, 2021 4:26 PM
To: Benjamin Greenberg
Subject: RE: Height Issue N26W30227 MAPLE AVE

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and are certain the content is safe.

Ben

Per our conversations we were issued a permit from the county and the town to build a home on Maple Rd Pewaukee lake and sometime after we had the entire home designed, engineered, excavated along with footings installed with poured walls being formed up we were told by you that a mistake was made by staff and the house was approximately 3' higher than what was allowed. Unfortunately not only were we under construction we already had ordered the lumber, roof and floor trusses, steel moment frame (makes up the 3 story wall on lakeside of home) and custom windows and doors which on all three levels of the home are floor to ceiling glass. To even consider trying to lower the home by 3' would have meant hundreds of thousands of dollars in costs, so the project has continued and we ask the board to please grant this variance. Keep in mind I own the house on the southwest side of this new construction and one of my high school best friends lives on the other side, I also built these homes on either side and these homes though not flat roofs are higher than this home.

Thank you,
Carl

Carl P Tomich
President/C.E.O.
P262.547.0326 F262.542.4361
carlt@westridgebuilders.com
www.westridgebuilders.com



From: Benjamin Greenberg <bgreenberg@waukeshacounty.gov>
Sent: Tuesday, February 16, 2021 8:17 AM
To: Carl Tomich <carlt@westridgebuilders.com>
Subject: RE: Height Issue N26W30227 MAPLE AVE

Hi Carl,

The meeting is Wed. March 10th @ 6:30 (held virtually via Microsoft Teams). Can you please submit any additional material by end of next week?

Ben Greenberg
Senior Planner
Waukesha County Department of Parks and Land Use

APPLICATION FOR A ZONING PERMIT

FOR OFFICE USE ONLY (Form Created 11/08/16)		DATE STAMP
Fee Pd: \$610	Receipt No.: 522440	RECEIVED 9.21.20 DEPT OF PARKS & LAND USE
ATF Y/N: N Reviewed by: EA PSE approval date: N/A		
ZP Appl. No. D20:037	ZP Permit No. 38367	
BOA File No. _____	SPPO File No. _____	
CU File No. _____		
File: _____	Building Inspector: _____	
Town Assessor: _____	Owner: _____	
Applicant: _____		
Zoning Code: _____	Shoreland and Floodland Protection Ordinance: X Zoning District(s): DSO	
Legal Description: WLY 25 FT OF LOT 10 & ELY 75 FT LOT 11 PLAT OF CRYSTAL SPRING		
Legal Description: PARK PT SE1/4 SEC. 15 T7N R18E		
Nonconforming Structure: Y/X		
Nonconforming Use or Nonconforming Structure in Floodplain: Y/X If Yes, a separate <i>Nonconforming Use and Structure Value Worksheet</i> is required.		
Impervious Surface Regulated: X/N If Yes, a separate <i>Impervious Surface Worksheet and Application</i> is required.		
Mitigation Required: Y/X If Yes, a separate <i>Mitigation Permitting Worksheet</i> is required.		

APPLICANT - PLEASE READ APPLICATION SUBMITTAL REQUIREMENTS (SEPARATE FORM ATTACHED) AND COMPLETE ALL BELOW:

Town Delafield Tax Key No(s) DELT 018013 Address of Premises N26W30227 Maple Ave.
 Owner(s) 227 Investments, LLC Applicant (if different) Westridge Builders, Inc.
 Mailing Address N8W22520-L Johnson Dr. Mailing Address N8W22520-L Johnson Dr.
Waukesha, WI 53186 Waukesha, WI 53186
 Email Address Karis@westridgebuilders.com Email Address Karis@westridgebuilders.com
 Daytime Phone No. (262) 547-0326 Daytime Phone No. (262) 547-0326

Detailed and complete description of proposed work to be completed and the intended use(s) (attach additional pages, if necessary)

Single Family Home

Type of existing structures on the lot and the use(s) of each vacant-used to be a restaurant and parking lot

Sanitary Facilities Public sewer N If no. type of private sewage system _____ Sanitary Permit No. (for new construction) N/A-SEWER
 Water Supply Private Other _____ Cost Estimate of Improvements \$ 1,000,000

EXISTING STRUCTURE(S)	PROPOSED STRUCTURE(S) only include new sq. ft. for additions
Principal Structure 1 st floor (sq. ft.) _____ 2 nd floor (sq. ft.) _____	Principal Structure 1 st Floor (sq. ft.) <u>2432</u> 2 nd floor (sq. ft.) <u>2716</u>
Att. Garage (sq. ft.) _____ Basement (sq. ft.) _____ Exposed Y / N / Partial _____	Att. Garage (sq. ft.) <u>1800</u> Basement (sq. ft.) <u>2432</u> Exposed <input checked="" type="checkbox"/> N / Partial _____
Structure Size: Width _____ Depth _____ Height _____	Structure Size: Width <u>64'</u> Depth <u>120'</u> Height <u>43.6' 39'</u>
Structure Style: 1 Story _____ 2 Story _____ Split level _____	Structure Style: 1 Story _____ 2 Story <input checked="" type="checkbox"/> Split level _____
No. of Bedrooms _____ No. of Bathrooms _____	No. of Bedrooms <u>4</u> No. of Bathrooms <u>4 full, 2 half</u>
Other structures (type/sq. ft.) _____	Other Structures (type/sq. ft.) <u>Boathouse-435SF</u>
Total SF Existing (all SF except basement) _____	Total SF Proposed (all SF except basement) <u>6948</u> <u>7,383 SF</u>
Total SF (Existing + Proposed) <u>7,383 SF</u> (except basement)	Building Footprint (all roofed structures) <u>4,667 SF</u> Accessory Building Footprint <u>435 SF</u> Total B.F. % <u>11.5%</u>
Size of Lot Average Width <u>100.57'</u> Average Depth <u>394.59'</u>	Total Area (excluding established road ROW) <u>40,848</u>

Proposed setbacks/offsets for planned improvements

	Principal Structure(s)	Accessory Structure(s)	Decks and Patios	Measure to the overhang <u>only</u> if it exceeds two (2) ft., otherwise measure as noted below.
Road Setback	<u>137.36</u>	<u>367</u>	<u>230</u>	feet from the building foundation to the established road right-of-way line (base setback line).
Offset	<u>137.23</u>	<u>5</u>	<u>149.1</u>	feet from building foundation to the (N,S,E,W) <u>South</u> property line.
Offset	<u>22.61</u>	<u>68</u>	<u>23.15</u>	feet from building foundation to the (N,S,E,W) <u>East</u> property line.
Offset	<u>14.00</u>	<u>14</u>	<u>14</u>	feet from building foundation to the (N,S,E,W) <u>West</u> property line.
Floodplain setback	<u>166</u>	<u>0</u>	<u>148</u>	feet from building foundation to the floodplain (FP elevation <u>854.4</u> datum <u>NAVD88</u>).
Wetland setback	<u>0</u>	<u>0</u>	<u>0</u>	feet from building foundation to the wetland.
Shore setback	<u>173.2</u>	<u>5</u>	<u>149.1</u>	feet from closest point of structure to the OHWM.

The undersigned states that the foregoing information is true and accurate to the best of his/her knowledge; it is hereby agreed that for and in consideration of the issuance of a zoning permit that the foregoing work will be carried out as defined in this application; that all applicable ordinances or codes of the state, county, and town will be complied with in carrying out the proposed work stated in the application; and that work will not commence before a building permit has been obtained from the town building inspector. If any changes or deviations are made from the original application, a new permit is required. Failure to comply with the permit as issued will result in the revocation of the permit or other penalties. By signing this form, the owner or his/her authorized agent is giving their consent for the Dept. of Parks and Land Use to inspect the site as necessary and related to this application even if the property has been posted against trespassing pursuant to Wis. Stat.; and serves as your signature for the wetland notice included.

Signature of Owner [Signature] Date 9/21/20
 Application (approved) (denied) by Zoning Administrator Erica Anderson Date 12/03/2020

SEE ATTACHED SHEET FOR CONDITIONS OF APPROVAL OR REASONS FOR DENIAL



Waukesha County

Department of Parks and Land Use

CONDITIONS OF ZONING PERMIT APPROVAL: D20:037, #38367

1. Your acceptance of this permit and efforts to begin work on this project signify that you have read, understand and agree to follow ALL conditions of this permit.
2. THE PROPERTY OWNER IS SOLELY RESPONSIBLE FOR PROVIDING ALL OF THE CONTRACTORS WITH COPIES OF THESE PERMIT CONDITIONS AND THE **APPROVED PLANS**.
3. This permit is for construction of a single family home, attached garage, boathouse, retaining walls, deck, pool, and patio.
4. The height of the principal structure shall not exceed 42 feet as measured from the lowest exposed point to the highest peak of the roof.
5. The home shall be located at least 14 feet from each lot line.
6. Construction shall comply with the building plans prepared by Westridge Builders on August 19, 2020 with a revision date of November 11, 2020, and submitted to the Waukesha County Department of Parks and Land Use – Planning and Zoning Division on November 11, 2020.
7. Grading/land-altering activities shall comply with the Plat of Survey/Grading Plan drawn Nelson Landscaping Inc. on November 19, 2019 with a revision date of November 16, 2020, and submitted to the Waukesha County Department of Parks and Land Use – Planning and Zoning Division on November 17, 2020.
8. Grading/land-altering activities shall not cause adverse drainage on adjacent properties either during or after construction. Downspouts shall be placed/directed so as to not cause adverse drainage on neighboring properties.
9. A permanent fence/wall of at least 4 ft. in height with a latched gate must be provided surrounding the entire pool to act as a deterrent for unsupervised children gaining access. We recommend that the Town Building Code be consulted regarding appropriate safety measures that should be implemented if any doors on the residence open to the enclosed pool area.
10. All conditions of Stormwater Permit #601279 shall be complied with.

Planning and Zoning

515 W. Moreland Blvd., Room AC 230 Waukesha, Wisconsin 53188-3878

Phone: (262) 548-7790 Fax: (262) 896-8071 www.waukeshacounty.gov/planningandzoning

11. The boathouse shall be located within the Access and Viewing Corridor as specified in Section 3(d)(9) of the ordinance. The location of the Access and Viewing Corridor is evidenced by a deed restriction, which has been recorded in the Office of the Register of Deeds, as Document # 4535898.
12. The boathouse shall be at least 5 feet from the Ordinary High Watermark, but no more than 35 feet. The boathouse shall not be located within the Floodplain.
13. The boathouse shall not contain more than one story and shall not exceed 12 feet in height.
14. Vegetation removal is not proposed or permitted herein. Future vegetation removal will need additional permits.
15. In order to comply with the 1 ft. basement floor separation from the seasonal high groundwater table, the basement floor elevation shall be no lower than 863.97' amsl NAVD88.
16. The height of the retaining walls shall not exceed 4 feet in height.
17. All retaining walls shall not be any closer than 5 feet to any lot line. Additional approval is required from the Town and County for retaining walls within 5 feet of any lot line.
18. Future remodeling of the basement requires additional permits.
19. Effective erosion controls shall be properly installed and maintained throughout construction and until the site is completely stabilized. *This condition is enforceable by the Town of Delafield Building Inspector.*
20. **MODIFICATIONS:** You must contact our office if there are any changes to this permitted project before the work is performed. This includes, but is not limited to, changes to the proposed grades, changes to the house design, newly proposed decks, patios, retaining walls, etc. A revised permit or additional permits may be required. There is a processing fee for minor modifications. A full application fee is required for major modifications and/or newly proposed structures.

**WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE
PLANNING AND ZONING DIVISION**

515 W. Moreland Blvd. Room AC 230 Waukesha, Wisconsin 53188 (262) 548-7790
Email pod@waukeshacountv.gov Website www.waukeshacounty.gov/planningandzoning

IMPERVIOUS SURFACE PERMITTING WORKSHEET AND APPLICATION

FOR OFFICE USE ONLY			
Fee Pd.: _____	Receipt No.: _____	ATF Y/N: _____	Reviewed by: _____
File Copy: _____		Building Inspector: _____	Owner _____ Applicant _____
Compliance with Zoning Ordinance: <input type="checkbox"/> Yes <input type="checkbox"/> No		Legal Description _____	

Property Owner: <u>227 Investments, LLC</u> Tax Key No(s): <u>DELT 0780013</u> Address of Premises: <u>N46W30227 Maple Ave.</u> <u>Pewaukee, WI 53072</u> Mailing Address: <u>N8W22520-L Johnson Dr.</u> <u>Waukesha, WI 53186</u> E-Mail Address: <u>Karis@westridgebuilders.com</u> Phone No.: <u>262-547-0326</u>	(Complete only if different from Owner Information)
Use of Property (check one) <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Nonresidential	Applicant: <u>Westridge Builders, Inc.</u> Company: _____ Mailing Address: <u>N8W22520-L Johnson Dr.</u> <u>Waukesha, WI 53186</u> E-Mail Address: <u>Karis@westridgebuilders.com</u> Phone No.: <u>262-547-0326</u>

Applicability of Impervious Surface (IS) Regulation
(construction, reconstruction, expansion, replacement and relocation)

- Waterfront (riparian) lot – if any portion of the improvements are within 300 ft. of a waterway.
 Offshore (non-riparian) lot located entirely within 300 ft. of a waterway.

Permitted Maximum Impervious Surface (IS) Percentages

<u>General Standard</u>	<u>Highly Developed Shorelines – shown as a data layer on Waukesha County GIS site*</u>
15% (without mitigation)	30% residential use or 40% nonresidential use (without mitigation)
30% (with mitigation)	40% residential use or 60% nonresidential use (with mitigation)

Go to: <https://www.waukeshacounty.gov/interactivemap/> to find impervious surface applicability layer and enter "Impervious Surface" in the filter layers search box.

NOTES: Existing legal IS, if placed on or prior to Oct. 1, 2016, can be maintained, repaired, replaced, relocated or modified. Treated impervious surfaces (TIS) are exempt. A Land Resources Division *Stormwater Permit* is required, prior to installation of TIS. If mitigation is required, a separate *Mitigation Permitting Worksheet* shall be completed.

(Please complete Page 2 of this form)

Calculation of Impervious Surface (IS)

Attach a scaled Plat of Survey or a scaled Site Plan identifying all existing and proposed IS, including the type. All other features required on a Plat of Survey or a Site Plan for an *Application for a Zoning Permit* shall also be included (see *Zoning Permit Submittal Form and Checklist*).

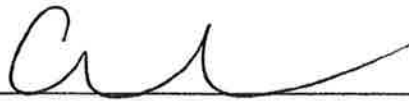
Complete the following table (Note: Exclude decks, patios, etc. that are directly below other impervious surfaces)

Type of Impervious Surface	Existing Square Footage	Post-Project Total Sq. Ft. (complete below prior to project)
INCLUDE ENTIRE OVERHANG AREA FOR ALL BUILDINGS		
1. Dwelling, include overhangs		2,796
2. Attached Garage, include overhangs		2,100
3. Accessory building # 1, include overhangs (e.g., detached garage, shed, barn, boathouse, pole building, etc.)		500
4. Accessory building # 2, include overhangs		
5. Sum of additional accessory buildings (if more than two exist), include overhangs		
6. Deck(s)		800
7. Patio(s)		416
8. Retaining walls (one sq. ft. per lineal ft.)		91
9. Driveways (incl. paved, concrete, gravel and compacted areas)		4,826
10. Sidewalks (incl. paved, concrete, gravel and compacted areas)		730
11. Miscellaneous impervious surfaces		
12. Total Impervious Surface Area (total of lines 1 through 11)		12,259

Lot Size (excluding the established road right-of-way)	41,173	sq. ft.			
Total % of Impervious Surface (IS) taken from above table	12,259	sq. ft. /	41,173	lot size x 100 =	29.8 %
Total % Treated Impervious Surface (TIS), if applicable		sq. ft. /	41,173	lot size x 100 =	0.0 %
Total % Impervious Surface (minus TIS)	12,259	sq. ft. /	41,173	lot size x 100 =	29.8 %

I, the owner, understand that I need to obtain an Access Permit for any newly proposed accesses to the property that directly abut a public road.

I, the owner, acknowledge responsibility for the accuracy of the information provided. Inaccuracies may result in an ordinance violation.

Signature (owner)  Date 10/29/20
 Application ^{approved} (approved) (denied) by Zoning Administrator Erica Anderson Date 11/17/20

This form applies to all seven types of Zoning Permit application forms/permitting worksheets, Conditional Use Permits, and Site Plan/Plan of Operation Use Permits.

NOTICE OF WETLAND INFORMATION

In accordance with Wisconsin State Statute 59.691, beginning January 1, 2011, counties are required to provide the following written notice when issuing certain permits. This information is provided to give you notice regarding potential wetlands. Specifically the statute states: "YOU ARE RESPONSIBLE FOR COMPLYING WITH STATE AND FEDERAL LAWS CONCERNING CONSTRUCTION NEAR OR ON WETLANDS, LAKES, AND STREAMS. WETLANDS THAT ARE NOT ASSOCIATED WITH OPEN WATER CAN BE DIFFICULT TO IDENTIFY. FAILURE TO COMPLY MAY RESULT IN REMOVAL OR MODIFICATION OF CONSTRUCTION THAT VIOLATES THE LAW OR OTHER PENALTIES OR COSTS. FOR MORE INFORMATION, VISIT THE DEPARTMENT OF NATURAL RESOURCES WETLANDS IDENTIFICATION WEB PAGE www.dnr.wi.gov/wetlands OR CONTACT A DEPARTMENT OF NATURAL RESOURCES SERVICE CENTER."

WAUKESHA OFFICE

DNR SERVICE CENTER
141 NW BARSTOW ROOM 180
WAUKESHA WI 53188
262-574-2100-phone
262-574-2117-fax

RECEIVED 9.21.20 DEPT
OF PARKS & LAND USE

In lieu of having you return to our office to sign this form upon issuance of your permit, please be advised that by signing this form at the time of application, you are acknowledging receipt of the above notice of the wetland information. If you would like to return to our office at the time we issue your permit and sign the form, you do not have to sign the form at the time of application. However, this may delay the mailing of your permit, when applicable.

Owner's signature/date _____

File No. D20:037

Tax Key No. DELT0180013

Street Name/Section No./Town (for Floodplain Development in ROW Permits only)

Waukesha County Department of Parks and Land Use
Planning and Zoning Division
515 W. Moreland Blvd. • Room AC230
Waukesha, Wisconsin 53188
Phone: (262) 548-7790 • Fax: (262) 896-8071
www.waukeshacounty.gov/planningandzoning

PLAT OF SURVEY

LOCATION: N26 W30227 Maple Avenue, Pewaukee, Wisconsin

LEGAL DESCRIPTION: The West 25 feet of Lot 10 and the East 75 feet of Lot 11 in the PLAT OF CRYSTAL SPRING PARK, located in the Southeast fractional quarter of Section 15, Town 7 North, Range 18 East, Town of Delafield, Waukesha County, Wisconsin.

- November 26, 2019
- September 2, 2020 Added Proposed House.
- September 9, 2020 Revised House Location.
- September 10, 2020 Added Foundation Plan (Not Staked); Proposed Driveway & Boathouse
- September 24, 2020 Revised Drawing
- October 1, 2020 Added Proposed Grading Plan
- October 12, 2020 Revised Proposed Grading Plan Addressing Comments
- October 22, 2020 Revised Drawing
- October 26, 2020 Revised/Added Impervious Surfaces Per Builder
- October 27, 2020 Staked Foundation Plan
- November 4, 2020 Address Comments; Rev. Grading Plan
- November 6, 2020 Revised Drawing
- November 9, 2020 Revised Drawing
- November 16, 2020 Revised Drawing

Survey No. 111048

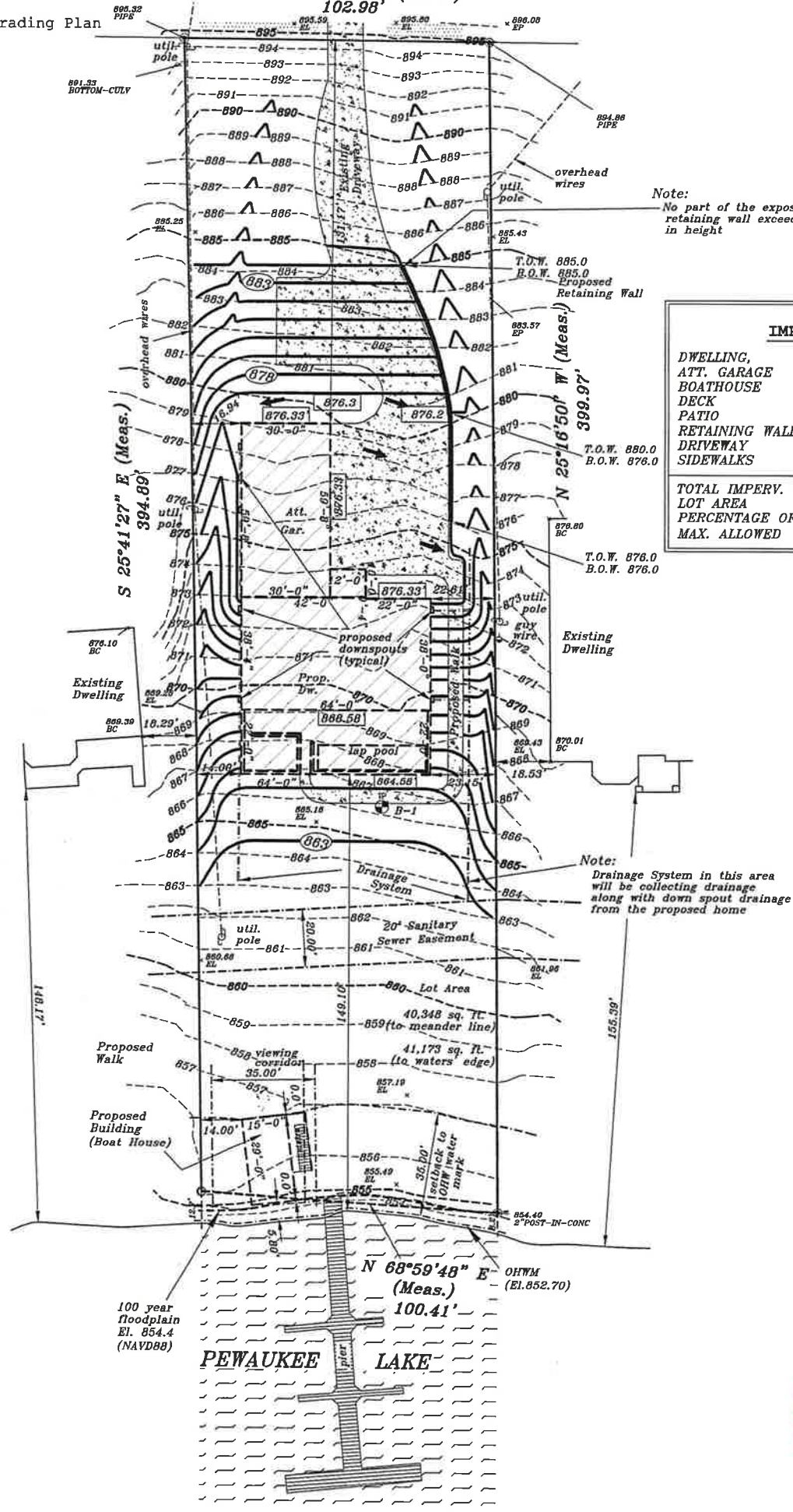
RECEIVED 11.17.20 DEPT
OF PARKS & LAND USE

APPROVED
GRADING
PLAN

APPROVED
SURVEY/SITE
PLAN

Maple Avenue

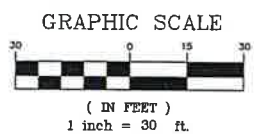
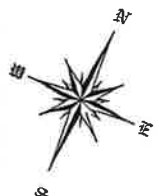
S 66°03'08" W (Meas.)
102.98'



Note:
No part of the exposed retaining wall exceeds 4' in height

PROPOSED IMPERVIOUS SURFACES

DWELLING,	= 2,796 sq.ft.
ATT. GARAGE	= 2,100 sq.ft.
BOATHOUSE	= 500 sq.ft.
DECK	= 800 sq.ft.
PATIO	= 416 sq.ft.
RETAINING WALLS	= 91 sq.ft.
DRIVEWAY	= 4,826 sq.ft.
SIDEWALKS	= 730 sq.ft.
TOTAL IMPERV. SURFACE AREA	= 12,259 sq.ft.
LOT AREA	= 41,173 sq.ft.
PERCENTAGE OF LOT AREA	= 29.8%
MAX. ALLOWED	30% (12,351 sq.ft.)



--- 880 --- Denotes Existing Contour
--- 880 --- Denotes Proposed Contour

Prop. T.O.W. 878.33 (10' wall)
Prop. Gar. Slab 876.33
Prop. Fin. Yd. Gr. 876.33 - Front Yard
868.58' - Bottom of Patio
864.58'

N 68°59'48" E (Meas.)
100.41'

PEWAUKEE LAKE

FEMA 100-Year Flood Elevation=854.4' (NAVD88)

FLOOD DATA This property is in Zone AE + X of the Flood Insurance Rate Map, Community Panel No. 55133C0178H which has an effective date of November 5, 2014 and IS in a Special Flood Hazard Area. Field surveying was not performed to determine this zone. An elevation certificate may be needed to verify this determination or apply for an amendment from the Federal Emergency Management Agency.



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

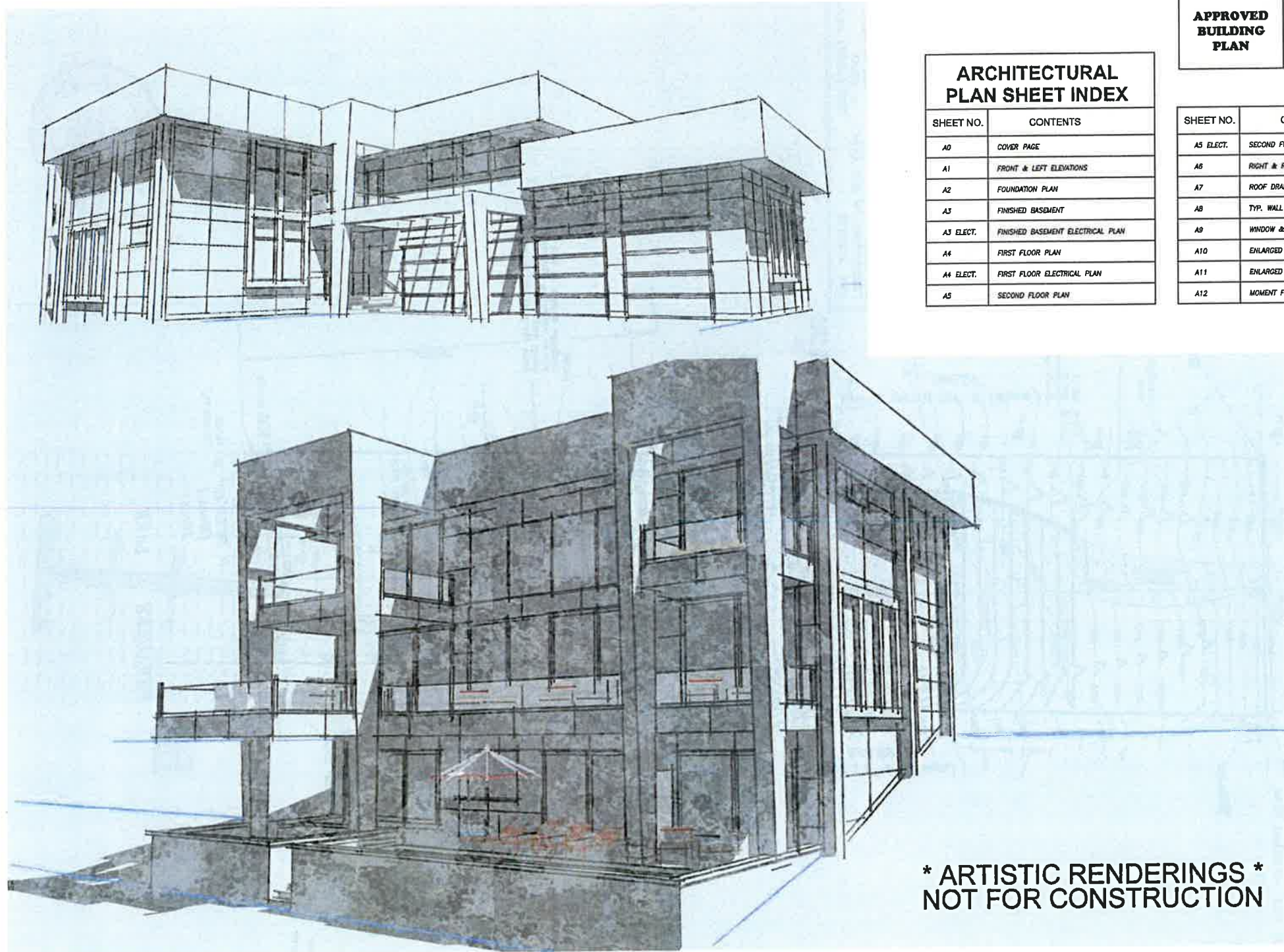
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED
Dennis C. Sauer
Professional Land Surveyor S-2421

METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS
9415 West Forest Home Avenue, Suite 202
Hales Corners, Wisconsin 53130
PH. (414) 529-5380
survey@metropolitansurvey.com
www.metropolitansurvey.com

⊙ — Denotes Iron Pipe Found
○ — Denotes Iron Pipe Set



**APPROVED
BUILDING
PLAN**

RECEIVED 11.11.20 DEPT
OF PARKS & LAND USE

**ARCHITECTURAL
PLAN SHEET INDEX**

SHEET NO.	CONTENTS
A0	COVER PAGE
A1	FRONT & LEFT ELEVATIONS
A2	FOUNDATION PLAN
A3	FINISHED BASEMENT
A3 ELECT.	FINISHED BASEMENT ELECTRICAL PLAN
A4	FIRST FLOOR PLAN
A4 ELECT.	FIRST FLOOR ELECTRICAL PLAN
A5	SECOND FLOOR PLAN

SHEET NO.	CONTENTS
A5 ELECT.	SECOND FLOOR ELECTRICAL PLAN
A6	RIGHT & REAR ELEVATIONS
A7	ROOF DRAINAGE PLAN
A8	TYP. WALL SECTION & INTERIOR ELEVATIONS
A9	WINDOW & FINISH SCHEDULES; NOTES
A10	ENLARGED LAKE WALL SECTION (SECOND/ROOF)
A11	ENLARGED LAKE WALL SECTION (FNDN/FIRST)
A12	MOMENT FRAME DETAIL

*** ARTISTIC RENDERINGS *
NOT FOR CONSTRUCTION**

THESE PLANS ARE THE PROPERTY OF WESTRIDGE BUILDERS, INC. AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED PERMISSION OF WESTRIDGE BUILDERS, INC.

DRAWN: 8/19/2020
FINAL: 9/02/2020

REV: 9/15/2020
REV: 9/22/2020
REV: 9/28/2020
REV: 10/14/2020
REV: 11/10/2020
REV: ----
REV: ----

CUSTOM



**Westridge
BUILDERS**

N8 W22520-L JOHNSON DRIVE
WAUKESHA, WISCONSIN 53186
PHONE: 262-547-0326

NAME:
MELROSE MODEL

N26 W30227 MAPLE AVE
PEWAUKEE, WI

ACCEPTED BY:

DATE:

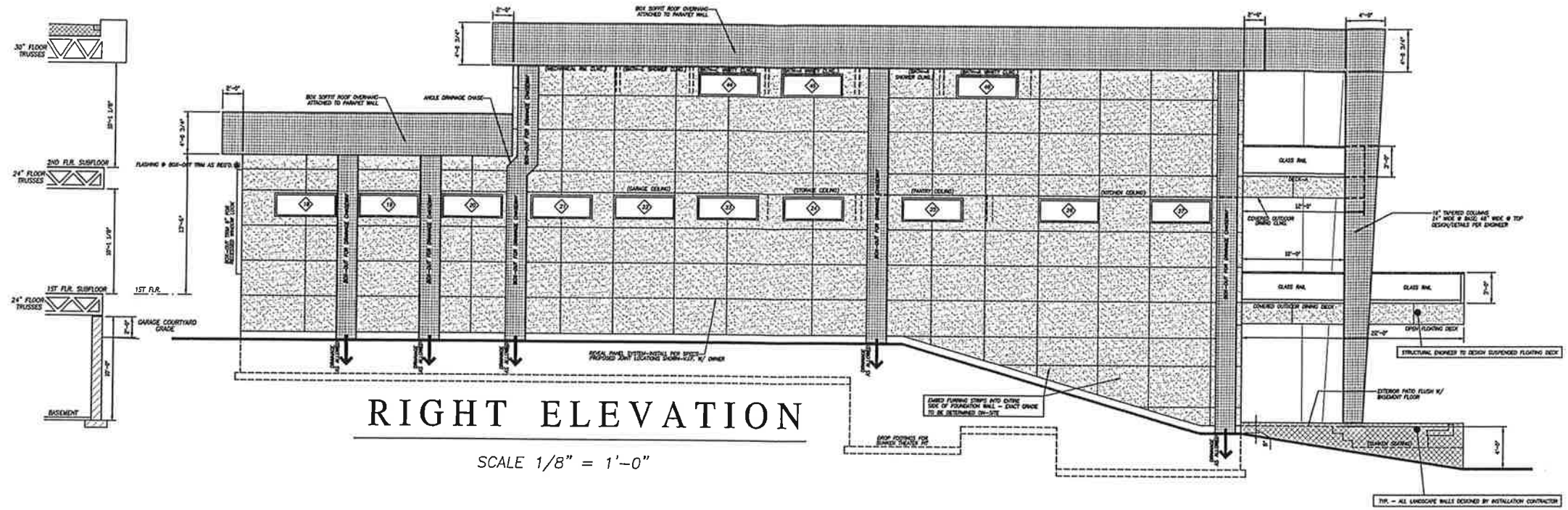
BUYER:

BUYER:

THE SYMBOLS SHOWN THROUGHOUT PLAN ARE REPRESENTATIVE IN NATURE AND NOT REFLECTIVE OF ACTUAL SELECTIONS

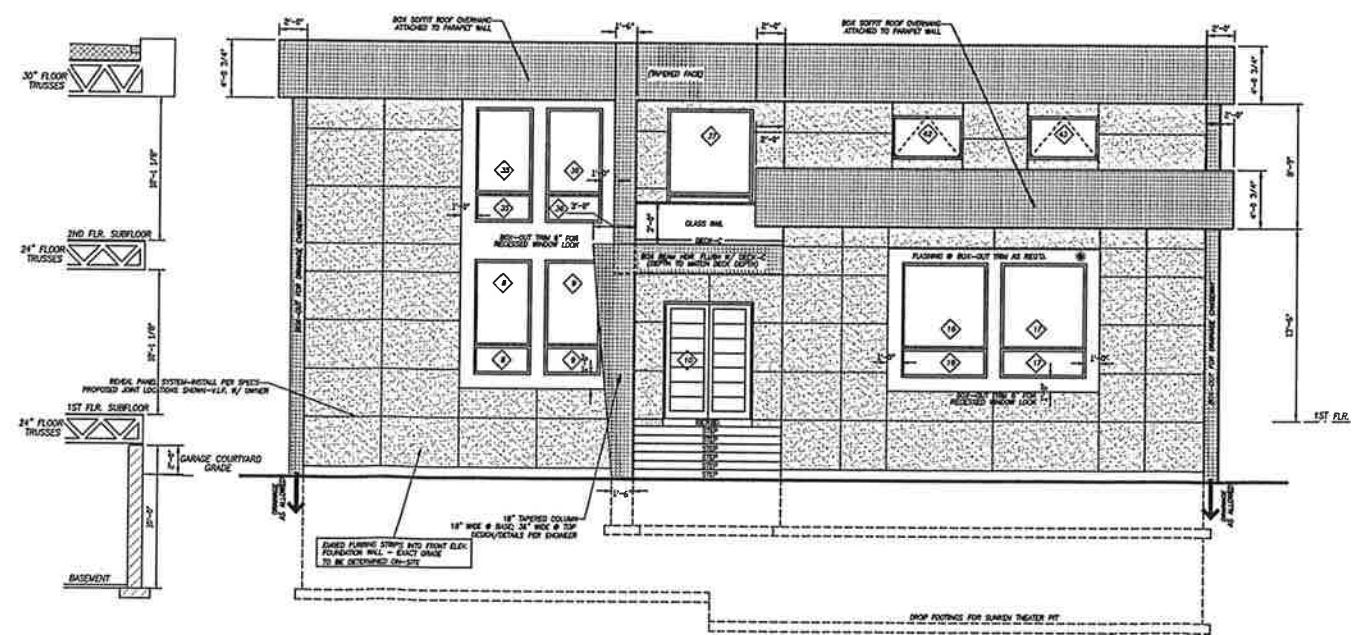
A0

ALL RIGHTS RESERVED AND PROTECTED BY THE COPYRIGHT LAWS OF THE UNITED STATES OF AMERICA.
FEDERAL COPYRIGHT PROTECTION EXTENDS TO ORIGINAL AND MODIFIED DERIVATIVE PLANS, IS APPLICABLE TO INTENTIONAL AND UNINTENTIONAL INFRINGEMENT, AND PROVIDES FOR SPECIFIC STATUTORY DAMAGES, BOTH CIVIL AND CRIMINAL.



RIGHT ELEVATION

SCALE 1/8" = 1'-0"

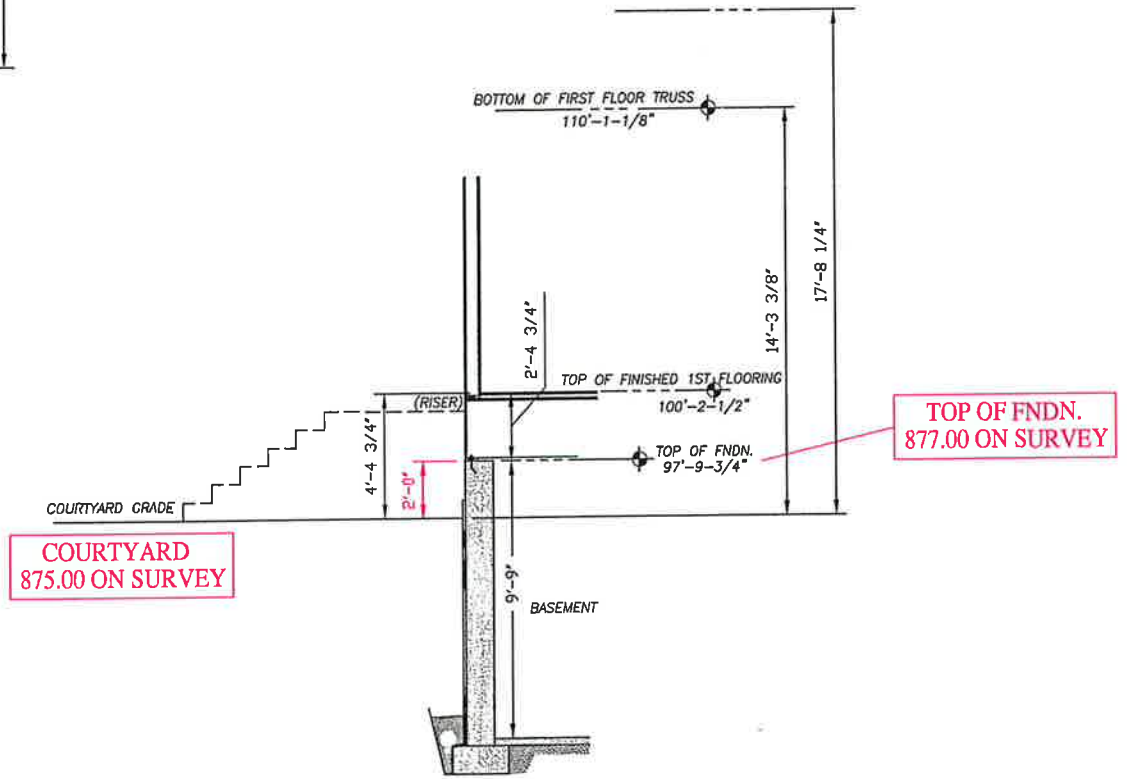
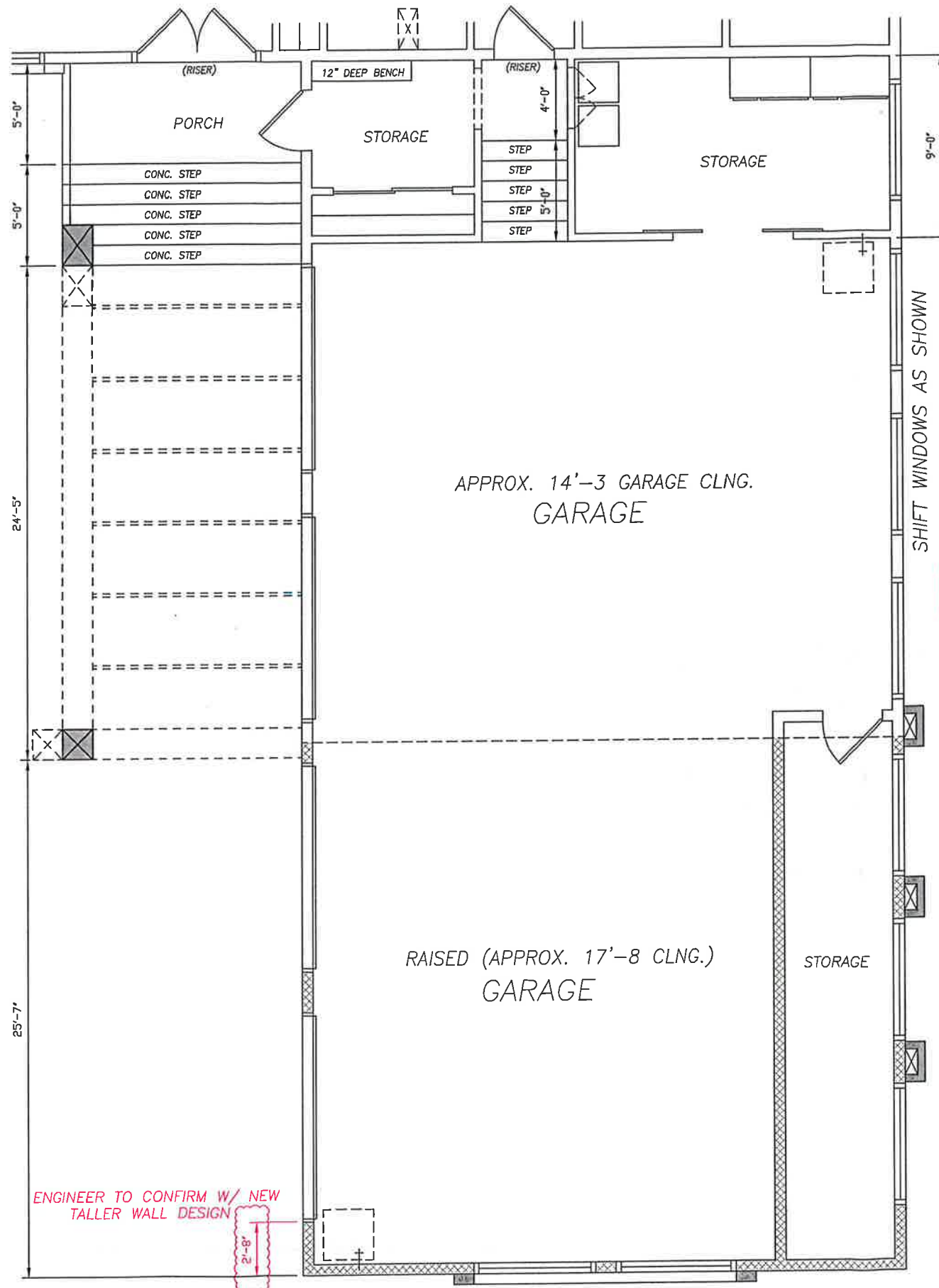


FRONT (ROAD) ELEVATION

SCALE 1/8" = 1'-0"

APPROVED
BUILDING
PLAN

RECEIVED 11.10.20 DEPT
OF PARKS & LAND USE



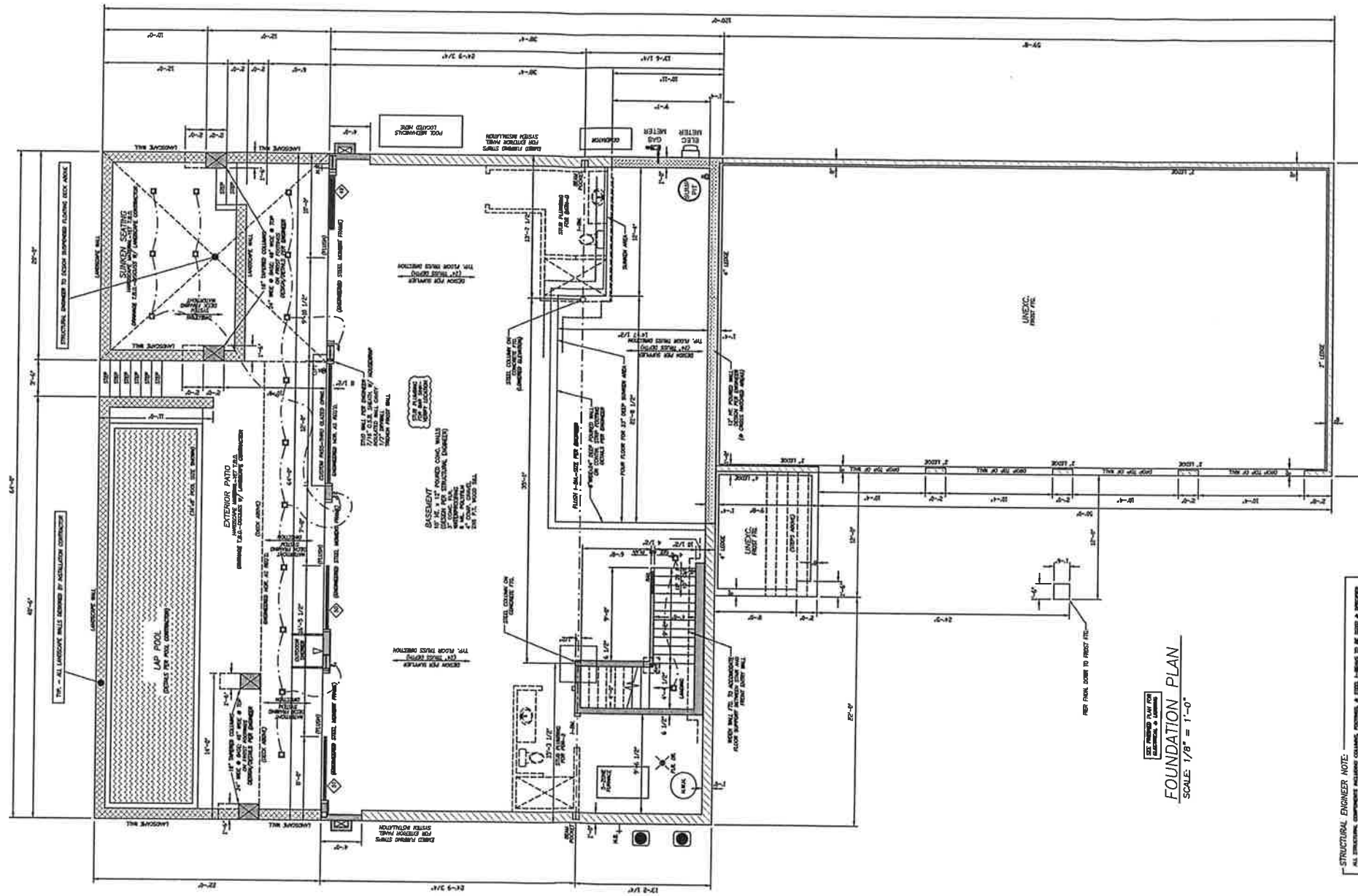
COURTYARD
875.00 ON SURVEY

REQUESTED GARAGE SKETCH

SCALE 1/4" = 1'-0"

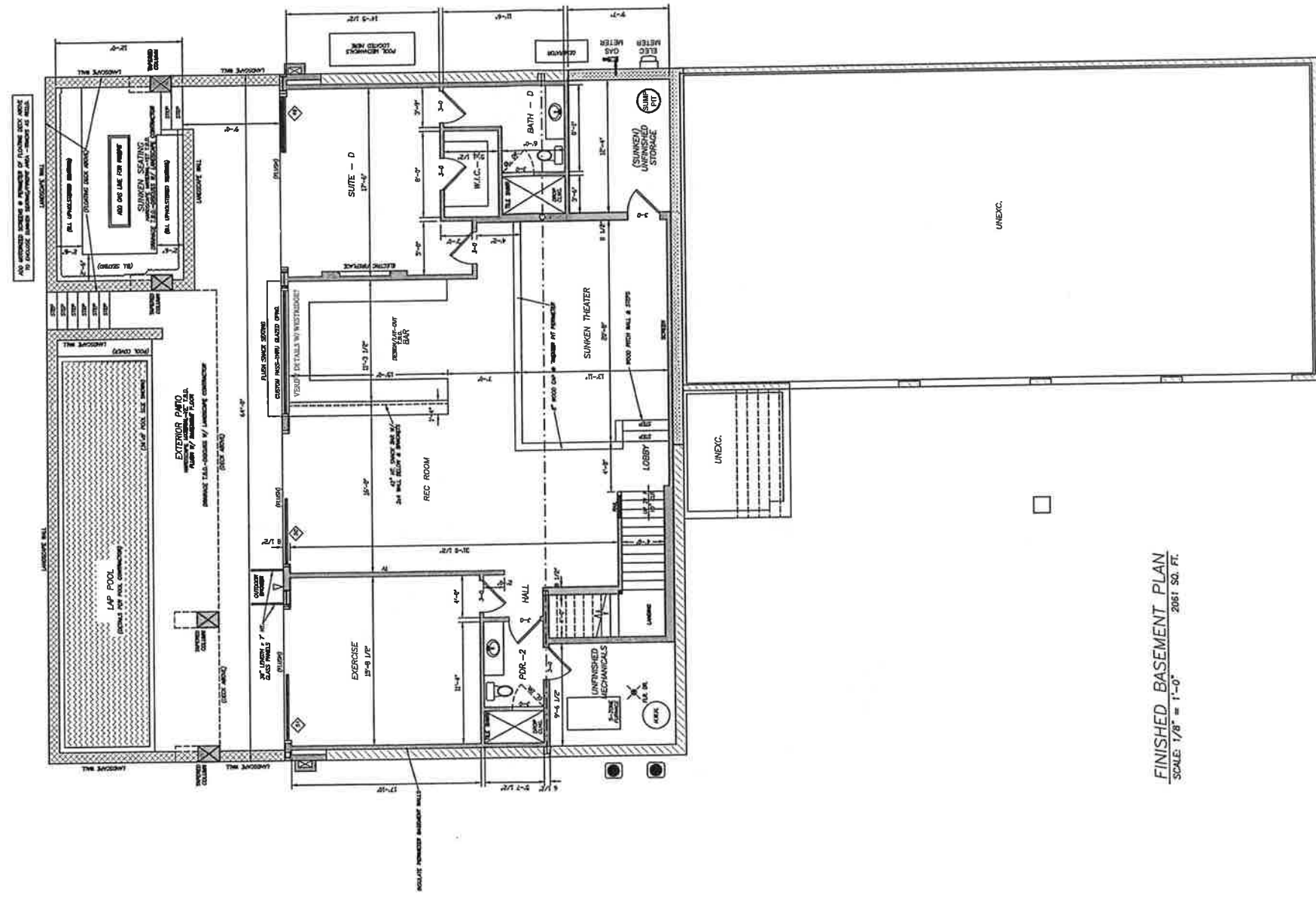
MELROSE
11-9-20

ENGINEER TO CONFIRM W/ NEW
TALLER WALL DESIGN



SEE SHEET 12-1 FOR
FOUNDATION PLAN
 SCALE 1/8" = 1'-0"

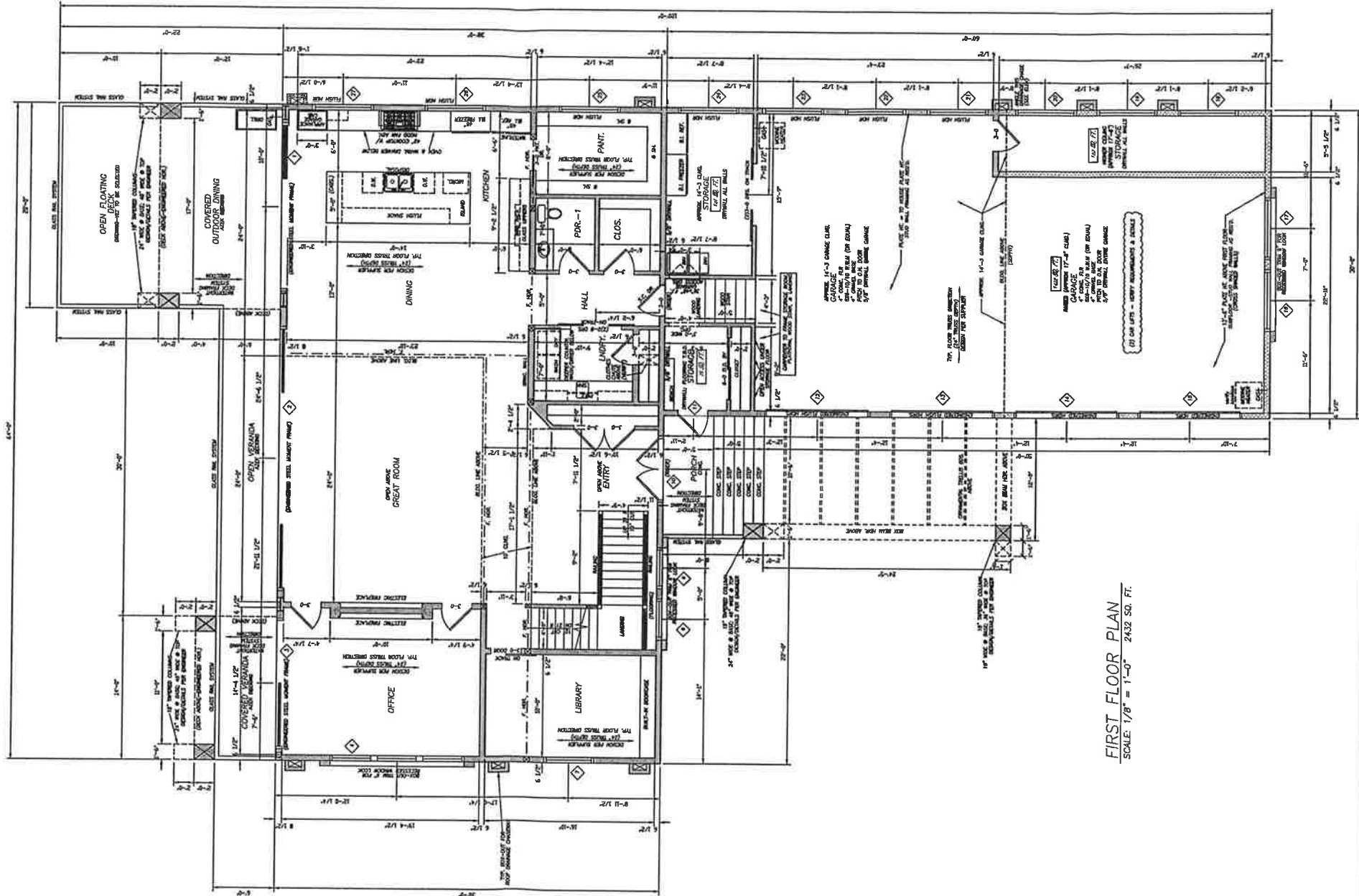
STRUCTURAL ENGINEER NOTE:
 ALL STRUCTURAL COMPONENTS INCLUDING COLUMN, FOOTING, & WALL, SHALL BE TO BE CONSTRUCTION BY STRUCTURAL ENGINEER. ALL OTHER WALLS (PAVING, TALLER RETAINMENT WALL, MASONRY, CONCRETE, BRICK, BLOCK, & OTHER WALLS EXCEPT FOR JACOBS MECHANICAL ROOM, STAMPON COATING, & STAMPON COATING) SHALL BE TO BE CONSTRUCTION BY OTHER TRADES.



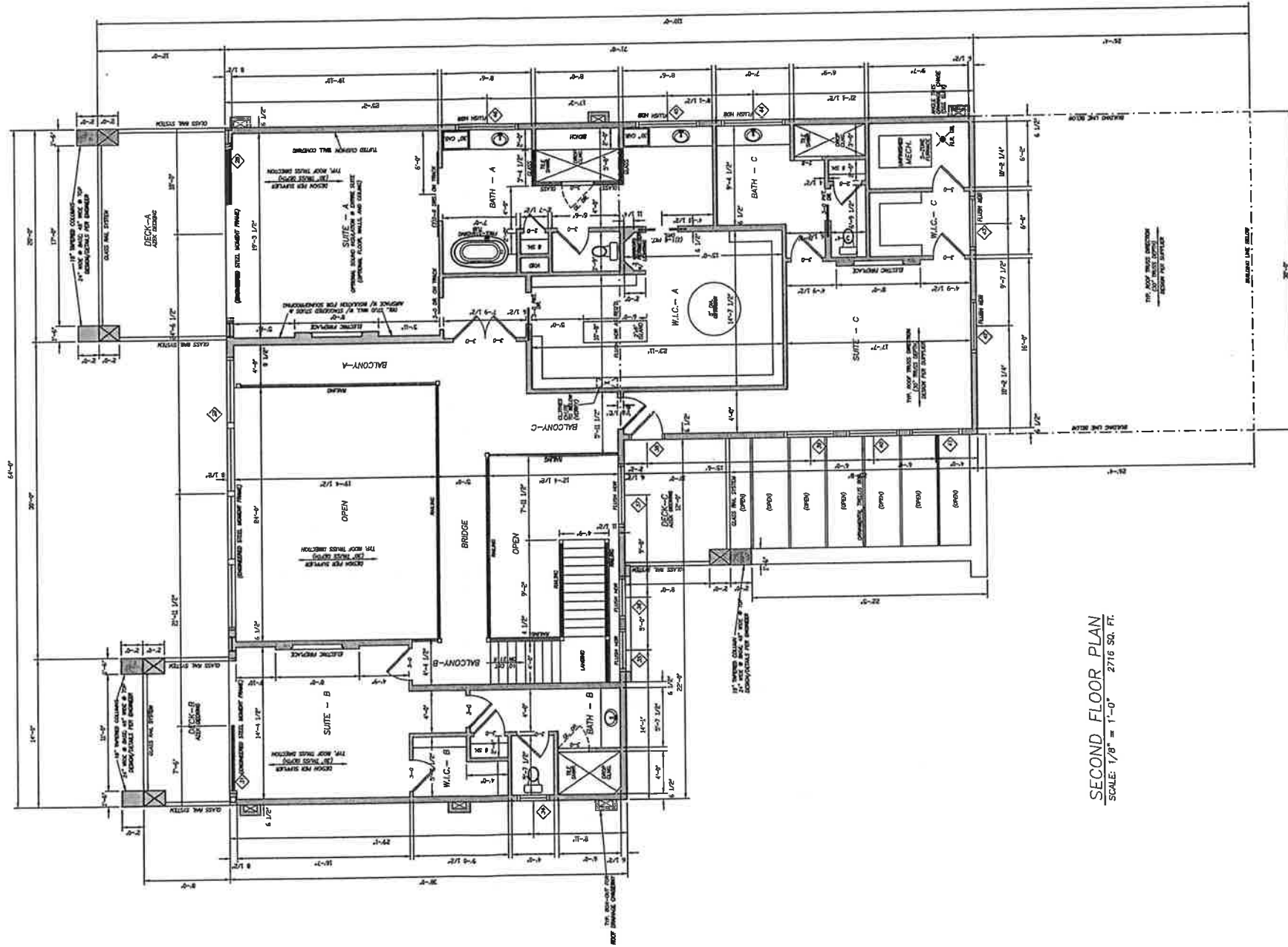
FINISHED BASEMENT PLAN
 SCALE: 1/8" = 1'-0"
 2081 SQ. FT.

MELROSE MODEL

A3



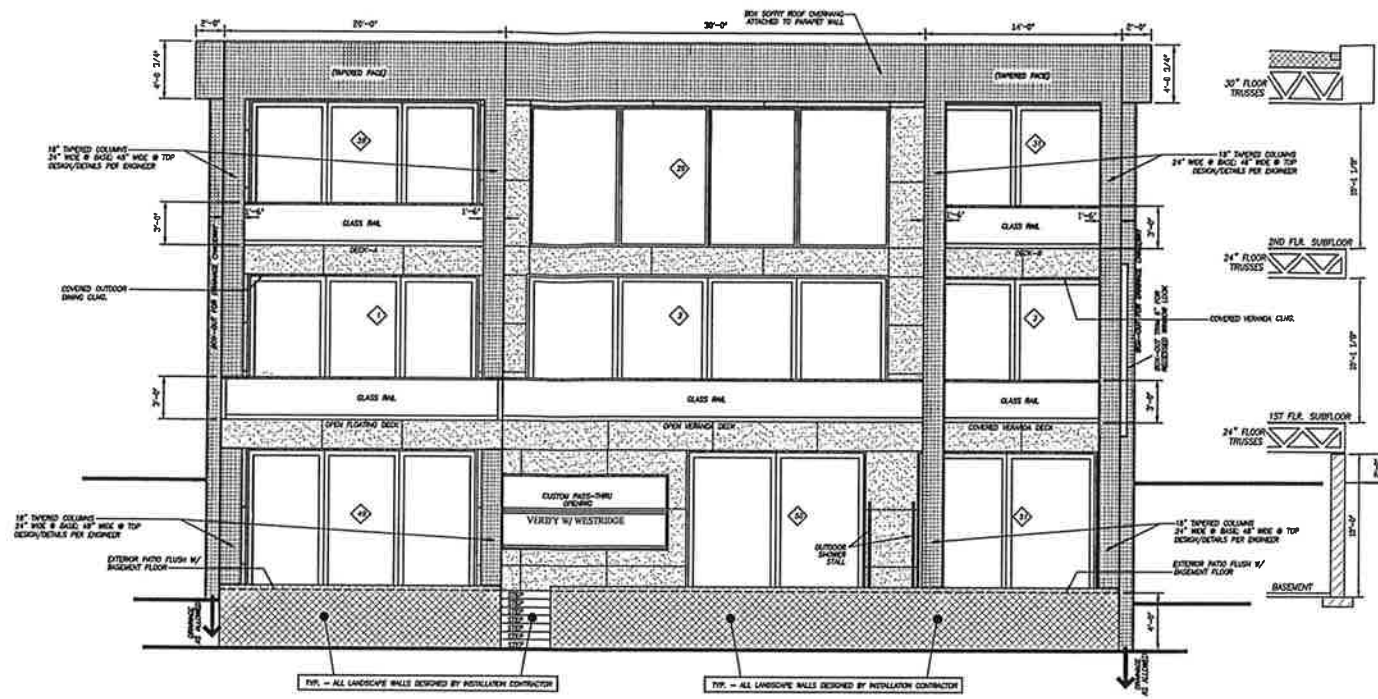
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" 2432 SQ. FT.



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0" 2716 SQ. FT.

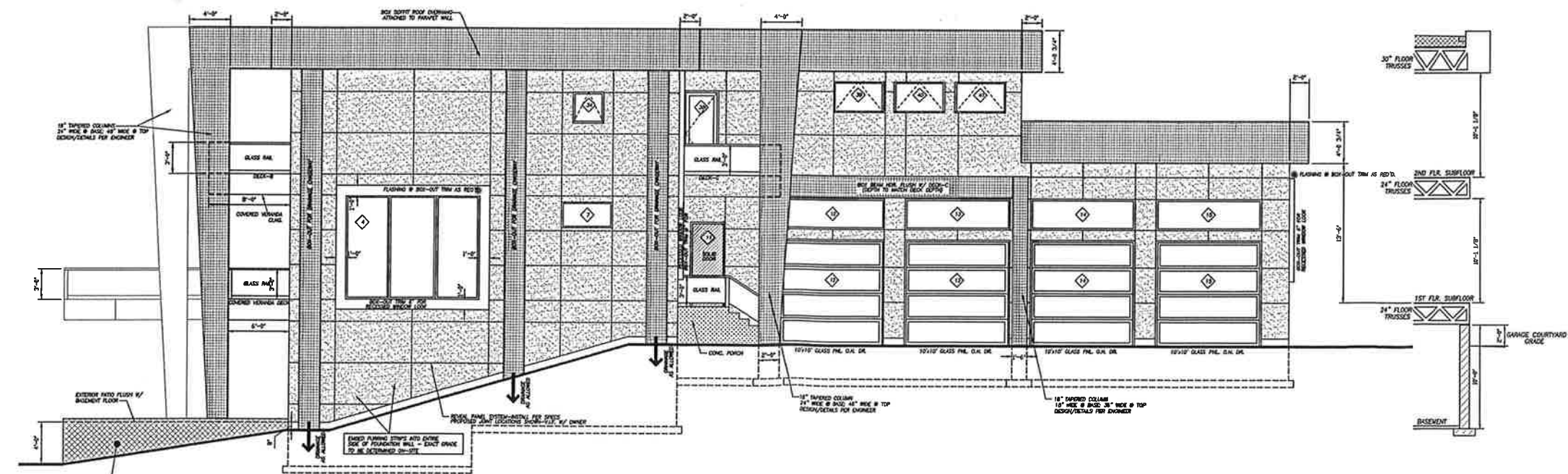
MELROSE MODEL

A5



REAR (LAKE) ELEVATION

SCALE 1/8" = 1'-0"

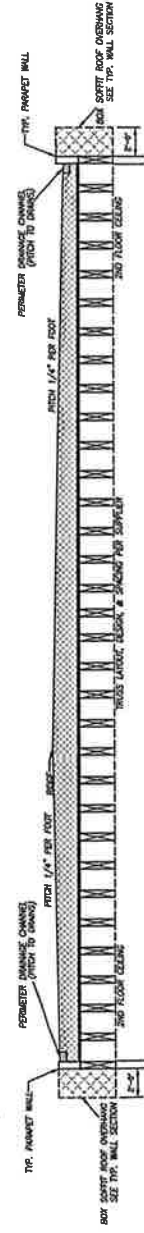


LEFT ELEVATION

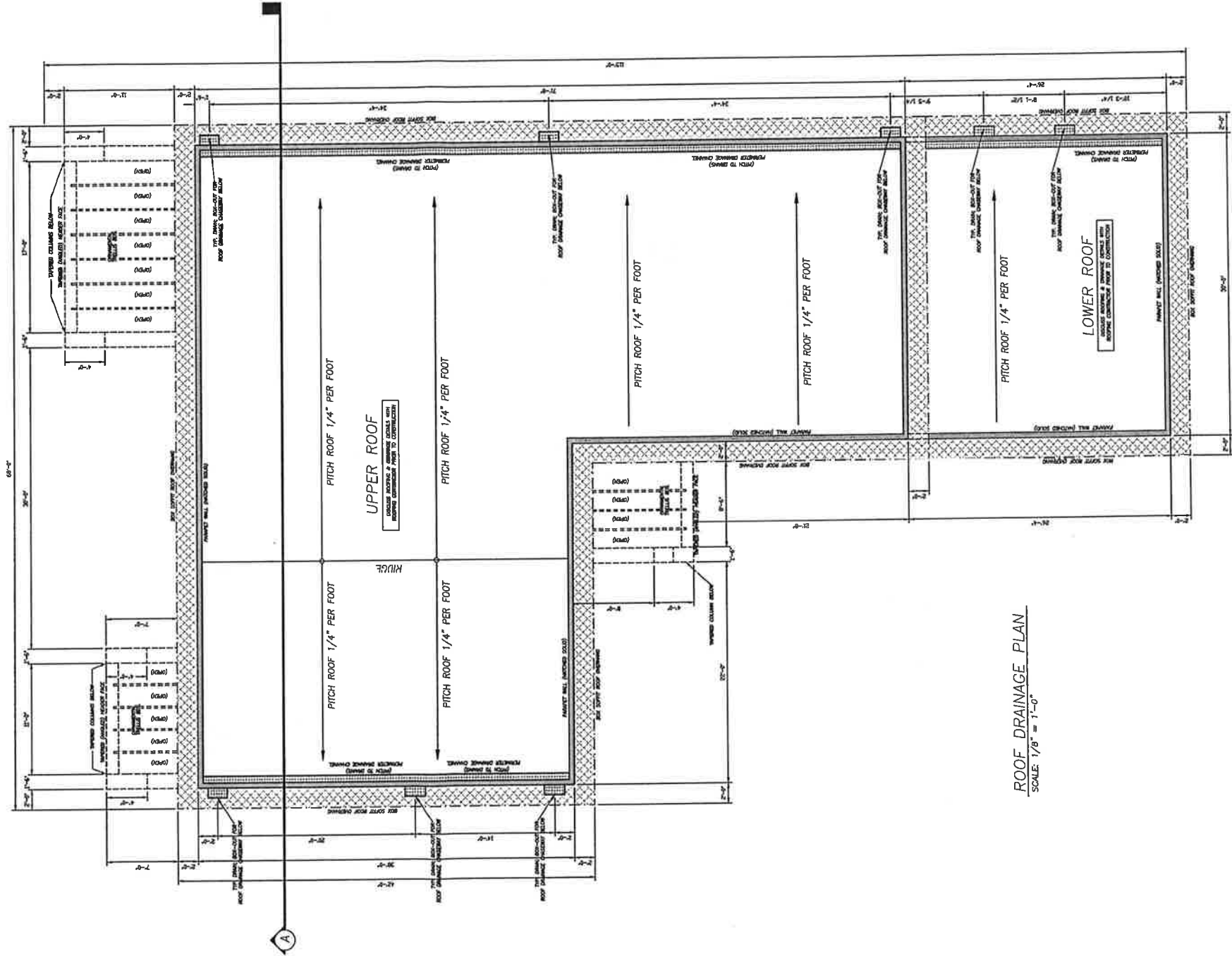
SCALE 1/8" = 1'-0"

MELROSE MODEL

A6



(A) ROOF DRAINAGE SECTION
SCALE: 1/8" = 1'-0"



ROOF DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

MELROSE MODEL

A7

PARKS AND RECREATION FACILITIES MASTER PLAN 2013 - 2018

TOWN OF DELAFIELD
WAUKESHA COUNTY, WISCONSIN

JANUARY 2013



Created by the Town of Delafield Parks and Recreation Commission

IN WITNESS WHEREOF, the Board's objectives for the plan include the following: to continue to have a source of reference and information for the on-going administration of their duties as a Board and a plan that will serve to build on an existing base of recreation and park facilities but take into account the proper planning for the growth that has occurred in the Town of Delafield since the 1970's.

IN WITNESS WHEREOF, the parties hereto have executed the twenty-four (24) pages of the Town of Delafield Parks and Recreational Facilities Master Plan 2013-2018 on this 9th day of April, 2013.

THE TOWN OF DELAFIELD

By:

Paul Kanter

Chairman

THE TOWN OF DELAFIELD

PARK & RECREATION COMMISSION

By:

Dan Dupies

Chairman

ATTEST:

Mary Elsner, Clerk

ACKNOWLEDGEMENTS

Town Board

Paul Kanter, Chairman
Clare Dundon, Supervisor
Larry Krause, Supervisor
Cindi Duchow, Supervisor
Peter Van Horn, Supervisor

Park and Recreation Commission

Daniel Dupies, Chairman
Shawn Kramlich, Commissioner
Tammy Sherman, Commissioner
Cindi Duchow, Commissioner
Patti Chasteen, Commissioner
Dawn Thomson, Commissioner
Meribeth Sullivan, Commissioner
Kelley Woldanski, Coordinator

TOWN OF DELAFIELD PARKS AND RECREATION FACILITIES MASTER PLAN 2013-2018

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APPENDIX

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1 INTRODUCTION

The Town of Delafield Parks and Recreation Comprehensive Plan serves as a guide to accomplish park land acquisition, facilitate park improvements, and enhance recreational programs and events for the Town of Delafield residents.

Currently, the Town's park and recreation activities are overseen by the ~~Park and Recreation Commission~~ ^{Town Board} with approval from the ~~Town Board~~. This plan provides an inventory of existing park facilities and open space, potential future park and open space, recreational facility and program/event demand, and potential future recreational program opportunities. The ~~Commission~~ ^{Board} strives to provide the parks, open space and recreational opportunities the citizens of the Town of Delafield desire.

MISSION STATEMENT

"The Town of Delafield is committed to the acquisition, development and ongoing operational programs of the Town's parks for the recreational benefit of its residents."

1.1 GOALS AND OBJECTIVES FOR PREPARING THIS COMPREHENSIVE PLAN

- Utilizing the results from the community **needs assessment survey** performed in April 2012, prioritize the needs and desires of the community for park/recreational services. (See survey copy in Appendix A)
- Continue assessment of bike routes linking Town of Delafield residents with neighboring parks and the Waukesha County trail system.
- Establish a plan to satisfy the needs of the community for park and recreational services in upcoming years.
- Formulate new ideas and strategies to effectively plan for recreational programs and Park and Recreation events utilizing the various resources in the Town of Delafield area.
- Identify a funding source for the objective goals of each year.
- Identify funding options for the potential development of the **parkland on KE** which is currently estimated to cost over **\$100,000**.

2 SUMMARY OF PREVIOUS MASTER PLANS OR COMPREHENSIVE PLANS

The last plan update was approved by the Town Board on December 12, 2006. The Commission's accomplishments since the adoption of the 2006 plan include:

- In 2007 the following items were completed:
 - Installed new picnic tables, benches and a grill at Elmhurst Park.
 - Installed new playground/fitness equipment at Elmhurst Park.
 - Re-graded the baseball diamonds at the Sports Commons.
- In 2008 the following items were completed:
 - Paved the parking lot at Elmhurst Park.
- In 2009 the following items were completed:
 - Added benches to the Sports Commons.
- In 2010 the following items were completed:
 - Phase 1 of tree landscaping at the Sports Commons.
 - Extensive fall field maintenance at the Sports Commons.
- In 2011 the following items were completed:
 - Completed the Cushing Park Bike trail.
 - Phase 2 of tree landscaping at the Sports Commons.
 - Extensive fall field maintenance at the Sports Commons.
- In 2012 the following items were completed:
 - Fencing repairs at Del-Town and the Sports Commons.
 - Extensive fall field maintenance at the Sports Commons.

Many of the capital improvements planned for 2010-2012 were not completed as they all dealt strictly with the development of the potential parkland on KE which has not yet been deemed as parkland.

Prior to 2006 there were three updates to an initial Comprehensive Plan created in 1988. A summary of each of those plans' accomplishments are as follows:

Plan dated March 1, 1999:

- Added bleachers at the ball fields and skateboard park at Sports Commons.
- Added bleachers at Del-Town Park ball field.
- Added a picnic shelter at Elmhurst Park.
- Installed bike route signage in conjunction with the Village of Wales to connect the Lake County Trail crossing at Maple Avenue and the Glacial Drumlin Trail in Wales.
- Established the Fright Hike and Log Cabin Run – two fundraising events for the Department.

Plan dated October 15, 1994:

- Installed a walkway, playground equipment and sport court at the Sports Commons.
- Established a capital expenditure plan.
- Added a walkway at Del-Town Park.
- Provided landscaping at Elmhurst Park.
- Developed a bicycle/pedestrian path along Hwy KE (in cooperation with the Village of Hartland and the Waukesha County Transportation Department).

Plan dated November 16, 1993:

- Instituted a children's golf program at Western Lakes Golf Course.
- Offered YMCA Tot programs at Town Hall.
- Offered swim lessons at Nagawaukee Park.

Original Comprehensive Plan dated August 23, 1988:

- Completed the Lake Country Trail (an 8-mile bicycle/pedestrian route north of I-94 in cooperation with Waukesha County, the Town of Pewaukee and the City of Delafield).
- Developed the Sports Commons in 1990 with 2 ball fields, soccer field, volleyball court and picnic areas.
- Developed Elmhurst Park in 1989 with a running/walking path, a level area for skating pond, a small piece of playground equipment and picnic area.

3 TOWN OF DELAFIELD – PROFILE

3.1 SOCIAL CHARACTERISTICS

The Town of Delafield is located approximately 30 miles west of downtown Milwaukee in west central Waukesha County. The Town contains 20 sections of land totaling 12,000 acres. The boundaries of the Town are formed by the Village of Hartland and the City of Delafield to the north, roughly Highway 18 to the south, Cushing Park Road and the City of Delafield to the west and County Highway SS to the east.

The Town of Delafield topography includes a portion of Pewaukee Lake (2,500 acres). The Town borders 43% of the lake. The topography also includes a portion of the glaciated Kettle Moraine area. As a result, steep ridges and hills along with deep kettle features are common. The highest point in Waukesha County is located in the Town at the Lapham Peak State Park.

The Town has a number of natural and man-made physical barriers that tend to divide it. These barriers can have an effect on the ease of access to various facilities by residents.

Pewaukee Lake – Pewaukee Lake extends from the east Town boundary westward. The lake, combined with county parkland extending from the west shore of the lake to the west Town boundary, effectively divides the Town into two sections. A fair percentage of the Town’s residents also reside near the lake.

Major Highways – The town’s population is divided nearly evenly north and south of I-94. Highway 83 runs north-south through the Town.

Environmental Corridors – Several primary and secondary environmental corridors are located in the Town. These corridors have been identified by the Southeast Wisconsin Regional Planning Commission (SEWRPC) and adopted by Waukesha County through its Park and Open Spaces Plan. Appendix B is a map of the Town of Delafield showing the location of these corridors.

*Lapham Peak / Kettle Moraine Park
Ethan Allen Site*

**Table 3-1
Comparative Population Growth
Town of Delafield, Waukesha County and Wisconsin**

	1970	1980	1990	2000	2010	2011*	2012*
Town of Delafield	3750	4597	5707	7820	8400	8418 ?	8195
Waukesha County	231,335	280,203	304,715	360,767	389,891	390,730	390,914
State of Wisconsin	4,417,821	4,705,642	4,891,769	5,363,675	5,686,986	5,694,236	5,703,525
		% Change 1970-1980	% Change 1980-1990	% Change 1990-2000	% Change 2000-2010	% Change 2010-2011*	% Change 2011-2012*
Town of Delafield		22.6%	24.1%	37.0%	7.4%	.21%	-2.6%
Waukesha County		21.1%	8.7%	18.4%	8.1%	.22%	.05%
State of Wisconsin		6.5%	4.0%	9.6%	6.0%	.13%	.16%

**Table 3-2
Estimated Population Growth 2005 - 2030
Town of Delafield, Waukesha County and Wisconsin**

Red Off

	2000	2005	2010	2015*	2020*	2025*	2030*	% Change 2000-2030
Town of Delafield	7820	8299	8400	9410	9955	10464	10917	39.6%
Waukesha County	360,767	374,891	386,460	397,922	409,570	424,472	436,986	21.1%
State of Wisconsin	5,363,675	5,563,896	5,751,470	5,931,386	6,110,878	6,274,867	6,415,923	19.6%

Source: U.S. Bureau of the Census, 1950 to 2000; * Wisconsin Department of Administration; Official Population Estimates, 2010; Wisconsin Department of Administration, Official Municipal Population Projections 2000 – 2030.

Table 3-2 depicts the population growth in the Town of Delafield in comparison with the growth of Waukesha County and the State of Wisconsin. In establishing the future needs of the Park and Recreation Facilities, the projection numbers of the estimated population of the Town of Delafield are necessary. Table 3-2 shows an estimated population in the year 2030 to be 10,917. This is an estimate 39.6% growth from the year 2000 to 2030. This data will be utilized to assess the cost of future park facilities to meet the needs of the additional population.

4 EXISTING PARK FACILITY INVENTORY

4.1 TOWN, COUNTY, STATE, AND SCHOOL FACILITY INVENTORY

Town of Delafield residents have a variety of natural resources, including the Town of Delafield parks, County park, State park, bike trails and school facilities that enhance the quality of their lives. Presently, there are 26 acres of parkland divided among 3 sites which are centrally located in the Town of Delafield. Table 4-1 identifies all of the existing facilities that are within or less than 3 miles from our town borders.

**Table 4-1
Town, County, and State Parks and Local School Recreation Facilities**

		Existing Facilities	Biking	Hiking/Walking	Open Space	Picnic Area	Picnic Shelter	Play Equipment	Baseball/Softball	Basketball	Soccer	Volleyball Sand	Running Path	State Park	Tennis	Beach/Boat Ramp	Camping Facilities	Golf Course	Ice Skating/Hockey	Planetarium
Type	Acres	Town Parks																		
NP	5.5	Del-town Park				•	•	•	•											
NP	5.5	Elmhurst Park		•	•	•	•	•					•							
CP	15.0	Sports Commons			•	•	•	•	•	•	•	•		•	•					
TL	26.0																			

County Park/Nature Center//Trail

RG	416	Nagawaukee County Park	•	•	•	•	•	•			•					•	•	•	•	
RG	430	Retzer Nature Center		•	•	•														•
RG	8mi	Lake Country Trail	•	•																

State Park/Trails

RG	1022	Lapham Peak State Park	•	•	•	•	•										•			
RG	52mi	Glacial Drumlin State Trail	•	•																
RG	1000mi	Ice Age Nat'l Scenic Trail	•	•																

Schools

SL		Arrowhead Schools			•				•	•	•				•					•
SL		Kettle Moraine Schools			•				•	•	•				•					

Facility Type

NP Neighborhood Park

CP Community Park

RG Regional Park

SL School

5 RECREATIONAL NEEDS ASSESSMENT

5.1 PUBLIC INPUT ASSESSMENT

In 2012, the Park and Recreation Commission developed a two-page survey that was randomly mailed to 1,400 Town residents. A copy of the survey can be found in Appendix A. There were 498 completed surveys returned therefore there was a 35.57% response rate.

Survey respondents were asked questions that pertained to how familiar they were with the Park/Recreation Department, what parks and services they currently utilize, what other recreational activities they partake in regardless if the Town offered those activities, and what they might like to see in the future.

The survey asked residents if they would like to see the Town offer more programs or events. Almost 40% of respondents said no and 27% said yes leaving the remaining percentage of respondents with no comment. The respondents that replied they would like to see more programming were also asked what they might like to see. Unfortunately of those suggestions, there was not a high response for any particular activity.

The survey also asked residents if they felt the Town should acquire more parkland. Approximately 33% of respondents said no, 23% said yes and 40% said they did not know. These responses do not indicate a strong opinion either for or against acquiring more parkland which may suggest that respondents are comfortable with what exists currently.

5.2 THE NATIONAL RECREATION AND PARK STANDARDS

In 1996, the National Recreation and Park Association updated their 1991 Recreation, Park and Open Space Standards and Guidelines (original printing – 1983). The new document titled National Recreation and Park Association – Open Space Guidelines and Standards gives local government park and recreation departments additional guidelines that are better aligned with the events of the 1990's. What has changed is the philosophy of planning for parks, recreation, and open space and how to provide these resources for future generations. The combination of the new and old guidelines aids communities in planning park, recreation and open space that is better suited to their own community and is within their economic and financial capability.

In addition, there has been an “explosion of interest shifting citizen focus in preserving community open lands to include wetlands, floodplains, foothills, forests and prairies for environmental protection and “green recreation”, which is passive in nature and requires little in the way of facility development”. And in higher social-economic strata more people find their outdoor recreation in the less active areas of leisure.

In view of these reasons, the guideline of 6.25 to 10/acres per 1000 population provides for an overall core system of open space and parklands. The new guidelines also include an activity/facility standard to be based on the individual community needs. The National Recreation and Park Association – Open Space Guidelines and Standards provides “a procedure for calculating a sound level of service standard, and provide professional guidance for setting up a diversified and balanced community park, recreation, and open space system”. These excerpts are taken from the “Park, Recreation, Open Space and Greenway Guidelines” printed in 1996.

Costs?

Pickleball?

Table 5.2
NRPA – Park, Recreation, Open Space and Greenway Guidelines
Activity/Facility Chart

ACTIVITY/ FACILITY	RECOMMENDED SPACE REQUIREMENTS	RECOMMENDED SIZE AND DIMENSIONS	RECOMMENDED ORIENTATION	NO. OF UNITS PER POPULATION	SERVICE RADIUS	LOCATION NOTES
Tennis	Minimum of 7,200 sq. ft. single court (2 acres for complex)	36'x78', 12' clearance on both sides; 21' clearance on both ends.	Long axis north-south	1 court per 2000	1/4-1/2miJe	Best in batteries of 2-4. Located in neighborhood/community park or adjacent to school
Volleyball	Minimum of 4,000 sq. ft.	30'x60', Minimum 6' clearance on all sides	Long axis north-south	1 per 5000	1/4-1/2miJe	Same as other court activities (e.g. badminton)
1 Official Baseball	3.0-3.85 A minimum	Baselines - 90' Pitching distance 60 - foul lines - min. 320' Center field - 400'+	Locate home plate to pitcher throwing across sun and batter not facing it. Line from home plate through pitchers mound run east-north-east	1 per 5000 Lighted 1 per 30,000	1/4-1/2miJe	Part of neighborhood complex. Lighted fields part of community complex.
2 Little League	1.2 A minimum	Baselines - 60' Pitching distance - 46' Foul lines - 200' Center field - 200' - 250'				
Field Hockey	Minimum 1.5 A	180' x 300' with a minimum of 6' clearance on all sides.	Fall season - long axis northwest to southwest. For longer periods north-south	1 per 20,000	15-30 minutes travel time	Usually part of baseball, football, soccer complex in community park or adjacent to high school.
Football	Minimum 1.5 A	160' x 360' with a minimum of 6' clearance on all sides.	Same as field hockey.	1 per 20,000	15-30 minutes travel time	Same as field hockey.
Soccer	1.7-2.1 A	195' to 225'x330' to 360' with a minimum 10' clearance all sides.	Same as field hockey.	1 per 10,000	1-2 miles	Number of units depends on popularity. Youth soccer on smaller fields adjacent to schools or neighborhood parks.
Softball	1.5 to 2.0 A	Baselines - 60' Pitching distance- 46' min. 40' women. Fast pitch field Radius from Plate - 225' Between foul Lines. Slow Pitch - 275' (men), 250' (women)	Same as baseball	1 per 5,000 (if also used for youth baseball)	1/4-1/2miJe	Slight differences in dimensions for 16" slow pitch. May also be used for youth baseball.
Multiple Recreation Court (basketball, volleyball, tennis)	9,840 sq. ft.	120' x 80'	Long axis of courts with primary use is north-south	1 per 10,000	1-2 miles.	
Trails	N/A	Well defined head max. 10' width, maximum average grade is 5% not to exceed 15%. Capacity rural trails - 40 hikers/day/mile. Urban trails - 90 hikers/day/mile	N/A	1 system per region	N/A	
1 Basketball	2400-3036 sq. ft.	46-50'x84'	Long axis north-south	1 per 5000	1/4-1/2miJe	Usually in school, recreation center or church facility.
2 Basketball	5040-7280 sq. ft.	50x84'				Outdoor courts in neighborhood and community parks, plus active recreation areas in other park like settings.
3 Basketball	5600-7980 sq. ft.	50x84'				

NO

Mertes & Hall, 1998 Park, Recreation, Open Space and Greenway Guidelines.

Source: National Recreation and Park Association. Open Space Guidelines & Standards, 1996

Table 5.1

NRPA – A Recommended Classification System for Local and Regional Recreation and Open Space

The National Recreation and Park Association suggests that a park system, at a minimum, be composed of a “core” system of parklands, with a total of 6.25 to 10.5 acres of developed open space per 1,000 population. The size and amount of “adjunct” parklands will vary from community to community, but must be taken into account when considering a total, well-rounded system of parks and recreation areas.

<u>Facility Type</u>	<u>Use</u>	<u>Service Area/Size</u>
A. LOCAL/CLOSE-TO-HOME SPACE:		
Mini-Park	Specialized facilities that serve a concentrated or limited population or specific group such as tots or senior citizens	<1/4 mile/<1 acre
Neighborhood	Area for intense recreational activities such as field games, court games, playground apparatus area, picnicking, etc	1/4 - 1/2 mile/15+acres
Community	Area of diverse environmental quality. May include recreational activities such as field games, court games, playground apparatus area, skating, or athletic complex area. May include passive areas for walking, viewing or sitting.	1 - 2 miles/25+acres
B. REGIONAL SPACE:		
Regional/Metro-politan Park	Area of natural or ornamental quality for outdoor recreation, such as picnicking, boating, fishing, swimming, camping, and trail uses; may include play areas and field games.	1 hour drive/200+acres
Regional Park Reserve	Area of natural quality for nature-oriented outdoor recreation, such as viewing, and studying nature, wildlife habitat, conservation, swimming, picnicking, hiking, fishing, boating, camping, and trail uses. Generally, 80% of the land is reserved for conservation and natural resource management, with less than 20% used for recreation development.	1 hour drive/1000+acres
C. SPACE THAT MAY BE LOCAL OR REGIONAL AND IS UNIQUE TO EACH COMMUNITY		
Linear Park (Trail System)	Area developed for one or more varying modes of recreation such as hiking, biking, and snowmobiling.	N/A/ Variable
Special Use	Areas for specialized or single purpose recreational activities, such as nature centers, conservatories, or areas that preserve, maintain sites of archeological significance.	N/A/ Variable
Conservancy	Land allotted for the protection and management of the natural/cultural environment. It may have a secondary objective of recreational use.	N/A/ Variable

Source: National Recreation and Park Association. 1990 Recreation, Park, and Open Space Standards & Standards.

5.3 PARK, OPEN SPACE AND BICYCLE ROUTE SYSTEM EVALUATION

The Town currently owns three parks totaling 26 acres. The following evaluation details the location, size, park type, facilities, past maintenance improvements, and recommended improvements attained from the public survey.

Del-Town Park – Neighborhood Park

Location - West of Town Hall – 5.5 acres (*this acreage includes Town Hall and DPW buildings*)

Facilities – Baseball field with backstop fencing, bleachers, sledding hill

Past Maintenance Improvements:

- Diamond fencing repairs/replacement

Recommended Improvements:

- Replace playground equipment
- Reposition park sign and landscape around perimeter of sign
- Possible warming shed to be placed near sledding hill

Elmhurst Park – Neighborhood Park

Location – I-94 and Elmhurst Road – 5.5 acres

Facilities – Jogging path (gravel), multipurpose open space, playground equipment, picnic pavilion

Past Maintenance Improvements:

- Picnic tables, benches and grill added
- New playground/fitness equipment added
- Paved parking lot

Recommended Improvements:

- Widen and pave running/walking path
- Add fitness stations along running/walking path

Sports Commons Park – Community Park

Location – Silvernail Road and Maple Avenue – 15 acres

Facilities – Full size baseball diamond, youth baseball/softball diamond, multi-use sport court (tennis, volleyball, basketball), sand volleyball court, soccer field, playground equipment, picnic pavilion, skateboard park, and 80 stall paved parking lot on east end and 30 stall paved parking lot near skateboard park

Past Maintenance Improvements:

- Re-graded baseball diamonds
- Added landscaping
- Added benches

Recommended Improvements:

- Research best addition for undeveloped portion of the park
- Concession stand/restroom facility
- Raise sand volleyball court
- Pave basketball court
- Add 0-5 year old playground equipment
- Research a walking path addition
- Upgrade the bleachers to be ADA compliant
- Upgrade playground equipment to be ADA compliant

Bike Trails

Lake Country Trail, Glacial Drumlin State Trail, Cushing Park Road Trail

Location – Lake Country Trail which is an east-west trail running from Landsberg Center trailhead in Waukesha to Cushing Park in Delafield – 8 miles. Glacial Drumlin State Trail is an east-west trail beginning in Cottage Grove and ends in Waukesha’s Fox River Sanctuary - 52 miles. Cushing Park Road Trail is a pedestrian path on the road right of way and connects the Lake Country and Glacial Drumlin Trails.

Recommended Improvements:

- The Park and Recreation Commission should identify and mark other potential bicycle routes in the Town, with the priority being routes that provide access to Town Parks.
- WisDOT has proposed to construct a bike path west of Highway 83 in the Town, in conjunction with planned improvements to the highway. At present, there is no established construction date for this project.

5.4 RECREATION PROGRAM AND EVENT ANALYSIS

The history of organized recreational activity coordinated or sponsored by the Town extends back to the mid 1970’s. The recreational programs and events in a community help to identify any additional needs that might be required. The following programs and events are coordinated through the Park and Recreation Department:

Youth Softball and Baseball: The Town has provided organized baseball and softball programs for children ages 5 through 17. Programs have been coordinated through the Land O’Leagues program hosted by the Waukesha Family YMCA. The Town also coordinates t-ball and coach pitch baseball with the Village of Wales.

Log Cabin 5K Run/2 Mile Walk: A yearly event held in August at Lapham Peak State Park. The Log Cabin Run is a training run held on Lapham Peak’s hilly trail terrain.

Fright Hike: An annual event that is held Friday and Saturday nights during the last week of October at Lapham Peak State Park. Scary skits are placed at intervals along a mile long trail. The skits are performed by local volunteers from various schools and organizations.

As mentioned previously, the needs assessment survey did not provide statistically significant findings to support adding more programs to the Department. Although 27% of respondents said they would like to see more programs offered, based on the suggestions given by those respondents, there was not a particular theme or suggested age group to offer more programming for. It would be best for the Town of Delafield to continue to offer programs they currently organize and if they were to add another program, a family-oriented event would work best as it may help introduce the Department to families who do not currently utilize the park system and/or programs.

5.5 PROGRAMMING PARTNERSHIPS

In past years the Department has cooperated with area organizations to offer more programs such as the Waukesha Family YMCA or the Village of Hartland. Neither partnership was committed to long term nor did either partnership prove beneficial for the Department in terms of high participation rates. The Town should continue to be open to partnerships that will prove beneficial to its residents by offering activities the Town could not offer alone.

5.6 EVALUATION OF THE NRPA GUIDELINES TO ACTUAL PARK AND OPEN SPACE

The Town of Delafield is responsible for providing the facilities described in section A of the "**LOCAL/CLOSE-TO-HOME SPACE**". In applying the NRPA original guidelines to the Town's 2012 population (8,400), the park system guidelines would indicate a need for a total acreage of parks between 52.5 to 88.2 acres. However, the updated NRPA guidelines does state the need to assess the actual needs and requirements that are better suited to our own individual community.

The Town is also positively impacted and benefits from a Waukesha County Park (416 acres) that runs through the Northern section of town and a Wisconsin State Park (1,022) that lies in the southwest corner of the town border.

The Town of Delafield is currently at a 3.25 acre/1,000 population ratio. However consideration should be made for the County and State Parks mentioned above which many of our residents utilize.

Utilizing the Public Survey and NRPA updated guidelines this ratio is deemed adequate to meet the current needs of the population of the Town of Delafield.

In projecting for future population growth, this same ratio will be used to ascertain an adequate increase in park land for future residents.

6 PARK PLAN RECOMMENDATIONS 2013-2018

6.1 ACQUISITION OF PARK AND OPEN SPACE

The following recommendations are made in accordance with the guidelines and Town need assessments that have been set forth in this document.

1. The transfer of ownership of the KE park land and the establishment of these 12 acres as a viable park by the year 2014.

6.2 CAPITAL IMPROVEMENT PLAN 2013-2018 FOR PARK FACILITIES

Year 2013

Reposition park sign and landscape around perimeter of sign at Del-Town **\$4,000**

Year 2014

Widen and pave running/walking path at Elmhurst **\$15,000**
Upgrade bleachers at Sports Commons to be ADA compliant **\$10,000-15,000**
Raise sand volleyball court at Sports Commons **\$10,000**

Year 2015

Add a concession stand and restroom facility at Sports Commons **Public Bid**

Year 2016

Add a warming shed at Del-Town for sledding use **\$20,000**
Pave basketball court at Sports Commons **\$17,000**

Year 2017

Add fitness stations along running/walking path at Elmhurst **\$30,000**
Add 0-5 year old playground equipment to Sports Commons **\$20,000-40,000**

Year 2018

Replace playground equipment at Del-Town **\$20,000**
Upgrade playground equipment at Sports Commons to be ADA compliant **Unknown**

Other items*

Research additional amenity for undeveloped area at Sports Commons

Research walking path addition at Sports Commons

**These items are not set for a specific year due to their magnitude and uncertainty of water/sewer capability at the park.*

6.3 OPERATION AND MAINTENANCE OF PARKS, PROGRAMS AND EVENTS

At present, the Town of Delafield's programs mainly include the baseball/softball program as well as the daily operation and renting of park facilities. These programs have been administered by a part time coordinator for the Park and Recreation Commission. This budget item is administered under the recreation section of the budget and utilizes user fees to fund a major portion of this budget. As programs change and Town sponsored events increase in magnitude, the requirements for this position may increase as well.

All of the Town's park grounds and facility maintenance is provided by one part time park maintenance employee. This person is shared with the Town Highway Department. A separate budget is established for the upkeep of all of the existing park facilities and is appropriated through the Town of Delafield annual budget.

7.0 FUTURE PARK PLANNING AND CALCULATION OF IMPACT FEES

7.1 ACQUISITION OF FUTURE PARK AND OPEN SPACE

This section of the Master Plan (Table 7-1 below) will aid in the process of assessing future growth park land requirements. The following recommendation is based on this assessment:

1. Purchasing land in the south section of the Town by year 2030.

7.2 CALCULATION OF IMPACT FEES

The calculation of impact fees is based on population per unit and the costs involved in procuring the land, design and land development.

**Table 7-1
Neighborhood and Community Park Facility
Surplus and Deficiency Projections through 2030**

	2012	2030 Projection
Population Forecast	8,195	10,917
Level of Service Standard	X 3.25 acres / 1,000	
Facility Need	26	35
Facility Inventory	26	26
Facility Surplus	0	0
Facility Deficit	0	9

Population/Number of New Households:

Projected population increase 2012-2030: 2,722 persons
 Average household unit: 2.6 persons per household
 Projected new households: 1,046 households

Facility cost estimate:

Neighborhood Park

Land Acquisition (9 acres at \$50,000/acre) \$450,000
 Grading/Land Development* (\$30,000/acre) \$270,000
 Play area improvements** (\$45,500/acre) \$409,500
Design Fees*** (\$225,900 x 10%) \$ 22,590
TOTAL \$1,152,090

* includes topsoil, seed, fertilizer and mulch

** includes parking lot, landscaping and signage

*** design fees based on 20% of Improvements, only 10% allowed per §66.0617(4)(a)3, Stats.

Impact Fee Calculation:

\$1,152,090/1,046 households = **\$1,102.00 per unit.**

7.3 EFFECT OF IMPACT FEES ON HOUSING AFFORDABILITY

The generally accepted definition of affordable housing is for a household to pay no more than 30 percent of its annual income on housing.¹ The median income for households in Waukesha County is \$75,845 per the US Census Bureau (revised December, 2012). The median household income for those in the 53018 zip code, which includes the Town of Delafield, is \$72,233. Based on these figures, the table below shows the effect the proposed impact fee has on households and families with the median income levels.

Table 7-2
Impact Fee Calculated as a Percent of Mortgage

	Annual Amount Available for Housing based on 30%	Purchase Price of House Based on Income (approximate)	Impact Fee as Percentage of Purchase Price
Delafield Median Household	\$21,670	300,000	.0036%
Waukesha County Median Household	\$22,754	250,000	.0044%

As seen in Table 7-2, the impact fee is a minute amount of the mortgage cost for an average home in the Town of Delafield, less than 1% (.0044).

¹ Source: US Department of Housing and Urban Development, see www.hud.gov/offices/cpd/affordablehousing/index.cfm.

8 FUNDING SOURCES

Park Plan recommendations for land acquisition, project design and development, programming and ongoing maintenance and operation are identified in Section 6.0 and 7.0 of this plan. Funds to support these endeavors will need to come from a variety of sources. The following state the funding sources available for appropriation to complete each of the park plan recommendations.

Program Name: Impact Fee

Description: The Town of Delafield has an Impact Fee to provide for a source of revenue to fund the purchase of park/open space land and park land development costs for the Town's future population growth. The impact fee includes the cost of the land, grading, topsoil/seed/fertilizer/mulch, parking lot and landscaping/signage. The costs for facilities and equipment (i.e.: baseball fields, baseball fencing, and playground equipment is not included in the Impact Fee.

Agency: Town of Delafield

Program Name: Capital Improvement Fund

Description: The Town of Delafield has a Capital Improvement Fund which receives monies from subdivision development. (Details can be found in Town Ordinance No. 18.07(3).) This fund as of June, 2006 will no longer receive monies from subdivision development due to ruling passed by Wisconsin State. These funds are to be utilized by the expiration of this Master Plan (7 years).

Agency: Town of Delafield

Program Name: Fund Raising

Description: The Town has been able to fund raise to cover a significant share of the cost of the skateboard park. The Halloween Fright Hike and the Log Cabin Run have been the primary fund-raising events.

Agency: Town of Delafield

Program Name: Appropriation Through The Annual Budget

Description: Funds for the Park and Recreation Department projects can be funded from the Department's annual budget if approved by the Town of Delafield town board.

Agency: Town of Delafield

Program Name: User Fees

Description: Currently, the Town charges for its organized softball/baseball program. These fees are generated through both participant and sponsor fees. These fees are intended to offset most of the costs of providing the programs. It is the goal and objective of the Town Park and Recreation Committee to provide a reasonable priced program to Town residents so that the programs are available to all residents. As a result user fees are not intended to meet all of the costs of providing programs for Town residents.

Agency: Town of Delafield

8.1 OTHER FUNDING OPTIONS

Program Name: Aids for the Acquisition and Development of Local Parks

Description: Buying land or easements and developing or renovating local park and recreation area facilities for nature-based outdoor recreation purposes (such as trails, picnic areas, fishing piers, camping facilities, sledding hills, support facilities and more).

% Match: 50% local match

Agency: DNR

Program Name: Environmental Education Grants

Description: Development, dissemination, and implementation of environmental education programs in categories that include general environmental education, forestry education, school forest and school forest education plans and mini grants (last category is new for 2006). Communities may want to consider funds for coordinating community educational events (may be tied to Arbor Day, Earth Day, Aldo Leopold weekend, etc.) and coordination of community educational use of urban green spaces and street trees.

% Match: 25% minimum local match

Agency: Wisconsin Environmental Education Board

Program Name: Land and Water Conservation Fund

Description: Federal funds to encourage nationwide creation and interpretation of high quality, outdoor recreational opportunities. The program funds both state and local outdoor recreation projects.

% Match: 50% local match

Agency: DNR

Program Name: Recreational Boating Facilities

Description: Construction of capital improvements that will provide safe recreational boating facilities including ramps and service docks, bulkheads and breakwaters, dredging of inland water channels or to provide safe water depths when associated with project development only, parking lots, sanitary facilities, security lighting, equipment to cut and remove aquatic plants, application of chemicals to remove Eurasian water milfoil, acquisition of equipment to collect and remove floating trash and debris from a waterway, acquisition of navigation and regulatory marker aids and feasibility studies for safe boating facilities.

% Match: 50% local match, match reduced by an additional percentage if applicant and project meets additional requirements such as enforcement of a boating safety/enforcement program and/or if the project is determined to be of statewide or regional significance.

Agency: DNR

Program Name: Recreational Trails Program

Description: Development and maintenance of recreational trails and trail-related facilities for both motorized and non-motorized recreational trail uses.

% Match: 50% local match

Agency: DNR

Program Name: Urban Forestry

Description: Improving a community's capacity to manage its trees. Includes projects such as computerized street tree inventories, training for city tree workers, urban forestry plans, tree ordinances, public awareness program, tree planting and maintenance and more.

% Match: 50% local match

Agency: DNR

Program Name: Urban Green Space

Description: Buy land or easements in urban or urbanizing areas to preserve the scenic and ecological values of natural open spaces for nature-based outdoor recreation, including non-commercial gardening.

% Match: 50% local match

Agency: DNR

Program Name: State Trust Fund Loan Program

Description: Loans for capital projects including buildings, roads, water and sewer facilities, equipment, recreation facilities, economic development, blight elimination or other public purposes.

Eligible Project Costs: Specific project costs funded on a case-by-case basis but typically funds items that include planning, design, construction, land acquisition, engineering services, consultant services and others.

Application Deadline: Ongoing

% Match: NA

Agency: Board of Commissioners of Public Lands

Program Name: Transportation Enhancements (Statewide Multimodal Improvement Program--SMIP)

Description: Funds projects that increase multi-modal transportation alternatives and enhance communities and the environment.

% Match: 20% local match

Agency: WisDOT

Program Name: General Obligation Bond

Description: Funds are made available for recreational acquisition or development when a referendum or legislative act has authorized sale of such bonds. The recreational use debt is repaid by the levy of a property tax and secured by the local unit of government.

Agency: Town of Delafield

Program Name: Revenue Bond

Description: Bonds are issued by a public agency and paid back by means of revenue from operation of the resulting recreational projects, such as a golf course, swimming pool or community center.

Agency: Town of Delafield

Program Name: Special Tax

Description: A special tax levy, usually included in the property tax that allows local units of government to collect revenue to support outdoor recreation projects.

Agency: Town of Delafield

Source: R.A. Smith & Associates. Grants & Funding Reference Guide 2006.

APPENDIX A – NEEDS ASSESSMENT SURVEY

The Town of Delafield Park and Recreation Department strives to continually meet the community’s needs for park and recreation services. Please take a moment to tell us how we are doing. Your input will prove valuable in future planning for the Department. Thank you in advance for your participation.

1. How familiar are you with the Town of Delafield Park and Recreation Department and its services?
 Very familiar Somewhat familiar Not familiar I don’t know

2. What is your overall satisfaction with the Town of Delafield Park and Recreation Department?
 Very satisfied Satisfied Unsatisfied I don’t know

3. Regardless if you are familiar with the Town of Delafield Park and Recreation Department, what recreational activities do you participate in either through the Department or other recreational venues?

- | | | |
|--|--|---|
| <input type="checkbox"/> Preschool instructional classes | <input type="checkbox"/> Parent/child classes | <input type="checkbox"/> Youth basketball |
| <input type="checkbox"/> Youth soccer | <input type="checkbox"/> Youth volleyball | <input type="checkbox"/> Youth baseball |
| <input type="checkbox"/> Youth instructional classes | <input type="checkbox"/> Adult fitness classes | <input type="checkbox"/> Adult basketball |
| <input type="checkbox"/> Adult volleyball | <input type="checkbox"/> Adult soccer | <input type="checkbox"/> Adult softball |
| <input type="checkbox"/> Wellness classes | <input type="checkbox"/> Family trips | <input type="checkbox"/> Theater trips |
| <input type="checkbox"/> Indoor swimming | <input type="checkbox"/> Outdoor swimming | <input type="checkbox"/> Special events |
| <input type="checkbox"/> Safety courses | <input type="checkbox"/> Dance instruction | <input type="checkbox"/> Archery |

Other: _____

4. Which of the following parks have you or other members of your household visited in the past year?
 (Please check all that apply)

- Deltown Park Sports Commons Elmhurst Park

5. If you or other members of your household visited one of the parks, which park amenities were utilized? (Please check all that apply)

- Playground Picnic shelter Ballfield Trail Basketball Court
- Skate Park Volleyball Court Soccer field Cushing Park Road bike path

6. Overall, how would you or other members of your household rate the conditions of the Town of Delafield parks?

- Excellent Good Fair Poor Don’t know/not applicable

7. What types of facilities or improvements would you like to see at the existing parks?

- Walking path at Sports Commons Toddler playground Frisbee golf

Concession stand at Sports Commons Tennis courts Addt'l Baseball diamond
 Restroom facility at Sports Commons Dog exercise area Fitness stations
 Warming shed/sledding hill at Deltown Other: _____

8. Which programs/events offered by the Town of Delafield Park and Recreation Department has your household participated in the past year? (Please check all that apply)

Youth T-ball Coach Pitch Baseball Boys Baseball Girls Softball
 Log Cabin Run Fright Hike

9. Would you like to see the Town of Delafield offer more programs/events?

Yes No

If yes, what would you like to see?

10. Do you feel the Town of Delafield should acquire more park land?

Yes No I don't know

11. Do you or any other member of your household have land you would be interested in donating to the Park and Recreation Department for future use? If yes, please contact our Department at 262-364-7773.

Yes No

12. How long have you lived in the Town of Delafield?

Less than 3 years 3-5 years 6-10 years More than 10 years

13. Do you live north or south of I-94? North South

14. What members of your household visited or used the Town of Delafield parks within the last year?

Adults Children Both Neither

15. What is your gender?

Female Male

16. Please list the ages of all members of your household, starting with your age first:

____ / ____ / ____ / ____ / ____ / ____ / ____ / ____ / ____ / ____

17. Do you have any additional comments?

The Town of Delafield Park and Recreation Department is continuously searching for individuals to help with fundraising events such as the Log Cabin Run or Fright Hike which help support the Park/Recreation program. If you or any member of your household is interested in helping, please email your name, address and phone number to the Park/Recreation Coordinator at parkandrec@townofdelafield.org. The Coordinator will contact you for your availability.

Please return this survey in the self-addressed, postage-paid envelope by April 20, 2012.