



A PERFECT ENVIRONMENT

Residential Recreational Responsible

Chair
Ron Troy
Supervisors
Edward Kranick
Steve Michels
Joe Woelfle
Magalie Miller
Clerk/Treasurer
Dan Green

TOWN OF DELAFIELD PLAN COMMISSION MEETING

Tuesday, August 2, 2022, 6:30 p.m.

Town of Delafield Town Hall W302 N1254 Maple Avenue, Delafield, WI 53018

Prior to the start of the scheduled Plan Commission meeting there will be two public hearings. The first will be in front of the Town Board, Plan Commission and a representative of Waukesha County to solicit public input on a request Scott and Jinga Bence for land altering activities associated with the construction of a single family house located at N23 W28296 Beach Park Circle. The second hearing is at the request of Tom Beaudry, 229 Lynndale Road, LLC, for an amendment to their conditional use permit to allow an expansion of the showroom at Cassandra's Motorsports located at N47 W28229 Lynndale Road. The regularly scheduled Plan Commission meeting will begin immediately following the conclusion of the public hearing.

AGENDA

1. Call to Order and Pledge of Allegiance
2. Approval of the minutes of July 12, 2022.
3. Communications (for discussion and possible action): None
4. Unfinished Business: None
5. New Business:
 - A. Scott and Jinga Bence, N23 W28296 Beach Park Circle, Re: Consideration and recommendation to Waukesha County on the approval of land altering activities at N23 W28296 Beach Park Road associated with the construction of a new single family house.
 - B. Tom Beaudry, 229 Lynndale Road, LLC, Re: Consideration and possible action on the following located at N47 W28229 Lynndale Road:
 1. Certified Survey Map to split the land into two parcels
 2. Conditional Use Amendment for construction of an addition to the showroom at Cassandra's Motorsports and to update the property description.
 3. Site, Grading, Landscape, Lighting, Architectural and Plan of Operation for the expansion of the showroom for Cassandra's Motorsports
 4. Site, Grading, Landscape, Lighting, Architectural and Plan of Operation for Lake Country Toy Box vehicle storage facility.
 - C. Town of Delafield Plan Commission, Re: Review of draft Lighting Ordinance.
6. Discussion: None

7. Announcements and Planning Items: Next meeting: September 6, 2022.
8. Adjournment

PLEASE NOTE:

- ✓ It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that members of and possible a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.
- ✓ Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Town Clerk Dan Green (262) 646-2398.

**TOWN OF DELAFIELD
PLAN COMMISSION MEETING
TUESDAY, JULY 12, 2022, 6:30 P.M.**

Video Link: https://www.youtube.com/watch?v=OxxFV1lGI_I&t=2532s

First order of business: Call to Order and Pledge of Allegiance

Chairman Fitzgerald called the meeting to order at 6:30 p.m. and led all in the Pledge of Allegiance.

Members present: Supervisor Kranick, Commissioner Dickenson, Commissioner Diderrich, Plan Commission Chairman Fitzgerald.

Also present: Engineer Tim Barbeau and Administrator Dan Green.

Excused: Commissioner Janusiak and Chairman Troy.

Second order of business: Approval of the minutes of June 7, 2022.

Motion made by Supervisor Kranick to approve the June 7, 2022, minutes. Seconded by Commissioner Dickenson. Motion passed 4-0.

Third order of business: Communications (for discussion and possible action):

Commissioner Tim Frank has resigned from the Plan Commission.

Fourth order of business: Unfinished Business: None

Fifth order of business: New Business:

- A. Dan Studer, W289 N106 Elmhurst Road, Re: Consideration and possible recommendation to Waukesha County on the approval of a lot not abutting a public road for the property located at W289 N106 Elmhurst Road under Waukesha County Shoreland and Floodland Zoning.

Engineer Barbeau explained that the last Plan Commission meeting, they discussed the County's zoning of this property due to a navigable pond. The County is requesting a recommendation for a flag lot, or a lot not abutting a public road. He explained the County Ordinance states that where such a lot has a narrow strip of land as part of the lot, extending to a public, where a structure could lawfully be placed, such narrow portion shall not constitute frontage or part of the 3-acre lot size requirement, unless the narrow portion of the lot is as wide as the required minimum average width for the District (200' in A-2).

Engineer Barbeau explained that the property currently contains a strip of land that was approved 31 years ago by the Town. The Town Code contains a provision that a property owner can create a true lot not abutting a public road if such a lot is accessed by a permanent 33-foot easement; or if the lot is greater than 6 acres, by a 66-foot permanent easement. The Town has allowed such lots in the past. In this case, the access is not through an easement, but rather through same ownership. Engineer Barbeau recommended that the motion to approve include language that recognizes that the strip of land is presently in place. The town is not creating the "strip" through the approval of allowing a lot not abutting a public road, so that precedent is not set.

Commissioner Dickerson questioned if this would be a legal non-conforming lot, if this were in the Town's zoning jurisdiction. Mr. Barbeau stated it would be legal non-conforming if it were our jurisdiction. Supervisor Kranick stated the debate at the last meeting was over the navigable waterway on the property. He stated that the County's zoning is the authority at this point.

Motion by Supervisor Kranick to recommend to Waukesha County approving a lot not abutting a public road, noting that the strip of land presently in place has been there for 31 years and is not being created for access to this property. Seconded by Supervisor Diderrich. Motion passed 3-1, with Commissioner Dickenson opposing.

- B. Dan Studer, W289 N106 Elmhurst Road, Re: Consideration and possible action on the approval of a Certified Survey Map to create two lots at W289 N106 Elmhurst Road.

Engineer Barbeau stated the surveyor has addressed all his technical comments. The CSM would create two parcels, with lot 1 being 5.306 acres, and lot 2 being 6.06 acres. The access would be from Elmhurst Road for lot 1, and Sylvan Trail, for lot 2. He asked the Plan Commission if they would want the strip of land leading to lot 2 dedicated for future access to the Schoenstatt property to the east. He spoke to Sister Joan who stated they had no intention of developing that land anytime soon. With that explanation, he recommends that there be not dedication, as the property has access to Cherry Lane, Lloyd Williams property, and all the way to Highway 18. He recommended approval of the CSM subject to any technical comments from Waukesha County. The City of Waukesha will also review the CSM under their extraterritorial review. He recommended that a 25' access easement also be part of the motion to approve. The 25' easement would allow access to the Kindred property and the Beres property (north and south of the cul-de-sac).

Motion by Supervisor Kranick to recommend to the Town Board the approval of a CSM dated July 6, 2022, for the property located at W289N106 Elmhurst Road, subject to all technical comments by Waukesha County and with the requirement of a 25' access easement at the end of Sylvan Trail. Seconded by Commissioner Dickenson. Motion passed 4-0.

- C. Brian & Kathryn Jakel, 3615 Hawthorn Hill Drive, Waukesha, Re: Consideration and possible action on a Certified Survey Map to combine parcels located at the northeast corner of Hillcrest Drive and Orchard Avenue (Tax Key Nos. DELT 0764-026, DELT 0764-027 and DELT 0764-028)

Engineer Barbeau explained this lot is made of 3 small lots from the 1920's. The land has been vacant for a long time, and the applicant is looking to develop a single-family home on the site. The owners are looking for approval of a combination CSM, and will dedicate some of the land along Hillcrest, to create a 30' right-of-way. The surveyor has addressed all technical comments. The engineer recommended approval for the CSM dated July 5, 2022, subject to technical comments from other reviewing agencies.

Motion by Supervisor Kranick to approve the CSM for the properties located at the northeast corner of Hillcrest Drive and Orchard Lane dated July 5, 2022, subject to all technical comments from reviewing agencies. Seconded by Commissioner Diderrich. Motion passed 4-0.

- D. Matt Neumann, Neumann Companies, Re: Presentation of conceptual development plan on land known as the Thomas properties generally located north of Golf Road and south of the Lake Country Trail, between Glen Cove Road and Elmhurst Road. (Tax Key Nos. DELT 0811-999; DELT 0809-996 and DELT 0809-995).

Chairman Fitzgerald explained that the Thomas Farm was only up for discussion, and no action was on the agenda. Any recommendations to staff will be incorporated into the ordinance where there will be a public hearing at a later meeting. He also reminded the residents that the Town Board still needs to review and approve anything that is approved from the Plan Commission.

Matt Neumann and Bryan Lindgren presented two concept plans for the Thomas Farm. Their company is a residential development company, founded in 2000. They have worked in 50 communities in the area. Both Matt and Bryan live near the area. Mr. Neumann explained that when looking at development sites, they check the school

district, proximity to work, tax rates, etc. The Town checks all those boxes, with good schools, low taxes, and being close to I-94. Being close to home, it is something they would keep close eye on. Neumann has preserved 1 acre of land, for every acre they developed, and that will be demonstrated in the plans being shown. Mr. Neumann reviewed the different partners that they have, and what they specialize in. He explained they have watched this site for 4 years and are excited to have the opportunity to present. He stated they have a contract on the property, and they have a chance to see the project through to fruition. He understands that density and types of uses have been someone defined, and he hopes they are on the right path. There are no mixed-use types, but all residential.

Bryan Lindgren stated Neumann's expertise is residential development. When looking at this property, they thought of another development in Summit called "Lake Country Villages", which has been a huge success for Summit and the residents. The layout has an ample amount of greenspace, walking paths, and different types of housing. He explained these are keys to a successful neighborhood. Bryan continued with his demonstration, giving a background on the property, where it is located and the challenges for development.

Mr. Lindgren reviewed the first concept plan, which includes two kinds of duplex products to the west. The first are two-stories, and the second are ranch style duplexes. The two story would be a good fit for younger couples or families, while the ranch style duplexes would tailor toward those who are downsizing or closer to retirement age. He reviewed the southeast portion of the plan, which includes a subdivision style "Villas", starting at 10,000 square foot lots. To the north, are slightly larger homes with lots starting at 15,000 square foot lots. These lots are called "Residences". He explained this is a common theme in the area. He explained the Villas would be starting in the \$500,000s, and the Residences would be in the \$600,000s. The last portion is in the northwest portion, which would be a cul-de-sac of what they refer to as the "Estates". These would be on 20,000+ square foot lots, and would start in the \$750,000 range.

The second concept offers a tradeoff. Mr. Lindgren explained not everyone wants to own their own homes. The high-end apartments would serve 8 units per building and would start in the \$1,800-\$2,200 range. He reviewed some examples of the different types of residences they would bring to the farm. The examples used were from other subdivisions they have done in the area.

Commissioner Dickenson stated the plans present are a lot different than what they have seen from other proposals. She expressed concern for people using the subdivision as a cut through, to avoid the intersection at Golf Road and Elmhurst. Mr. Neumann explained when they design plans, they make sure to add curves to naturally slow traffic down, and deter people from using as a cut through. He stated that three access points off Golf Road give room for flexibility in the traffic patterns.

Commissioner Diderrich stated he liked that concept 2 did not hook up to Glen Cove, but overall, like concept 1 more. Mr. Neumann explained that Lake Country Villages gives a good feel for lot sizes and construction types. He explained that subdivision had a lot less access opportunities than this site provides. He stated a traffic study will show what impacts are of having access to Glen Cove, Elmhurst, and Golf Road.

Supervisor Kranick asked how much the density could be dialed down on the site. Mr. Neumann stated that 250 units could be the number, but understood that 250 units was the guidance for the site, excluding the 17 acres to the southeast. That is why their density calculations are slightly more than 250 units, to consider those 17 additional acres. Supervisor Kranick stated that the 250 unit maximum was meant for the entire site.

Supervisor Kranick asked that Mr. Neumann educate the Plan Commission and residents on the pros and cons of this plan, compared to a subdivision like Dover Bay or the Arbors, and why that is not an option for this site. Mr. Neuman stated that the site is different than all the properties on the north side of the lake, the Arbors and Dover Bay, because of the location of I-94. If they were to build a Woodridge subdivision, they would have to sell lots for a very large amount of money, as it costs \$1,500 per linear foot of road to develop. Due to the location, if the neighborhood wants the site to be residential, it has to be a denser development.

Supervisor Kranick explained that the concept plan for multi-family was intriguing. Playing devil's advocate, he thinks the open space provided by concept 2, was good as well. He explained that when the Plan Commission first began a mixed-use ordinance, they discussed light industrial, commercial, and senior uses. They heard from the neighbors, who wanted all residential. The density discussion still needs to be considered. The density of the neighborhood is 1.2 units per acre. Mr. Neumann explained the challenge as developers is the usable space, once stormwater ponds and roads are put in. He stated the big question is whether the Town will allow rental properties or not. If the cap for units is 250, they will need to have the discussion if rental units are feasible. Supervisor Kranick questioned how many more million dollar homes the Town can support. He explained these homes would not be shacks, they would be \$500,000 + homes, with rentals over \$1,800. He has received numerous emails asking what problem the Town is trying to solve. The problem is both inflation and the State levy limits. The Town either has to increase its net new construction, or pass a referendum to exceed the levy. The Town would like to see more police service, but that is going to cost money. He explained that as a conservative, the Town needs to grow in a way that meets the state's requirements. He explained there are no red flags with the budget right now. Down the road a few years, it will be an issue. He added that the development would add potentially \$10 million a year to the school district.

Mr. Neumann explained that communities with only large, expensive homes, see reduced school enrollment, and causes property valuation issues. He explained the Kettle Moraine School District is in trouble, and this would be a healthy development from an economic standpoint. Mr. Neuman explained he understood the desires of the neighborhood, that they do not want to see this land develop. The second option is less homes with very high values. The argument is not invalid, but housing diversity, leads to upward markets. These subdivisions give kids a chance to move back to where they grew up. In areas like Delafield, people do not have many housing options. When kids move away, they rarely get to move back. Supervisor Kranick added that the Thomas family has a right to sell their property. If the property stays as farmland, current stormwater problems will only continue for the neighbors in the area. Development can ensure that the lake is protected from runoff issues. He stated that it is clear the residents do not want to compromise, and do not want multi-family. If the Town was going to have multi-family, right along I-94. This is the best place to have it. Given the housing options in the Town, it should at least be considered.

Chairman Fitzgerald stated concept 2, with multi-family, has advantages such as no access to Glen Cove and much more greenspace. He explained that if we could make similar changes to concept 1 regarding access, it would help to force most traffic to Golf Road instead of Glen Cove.

Matt Neuman stated that the lowest density they could propose to make the development work is 250 units. He explained they are not in the market to argue density. A 1.6 unit per acre development in any market is incredibly abnormal. He explained the Town needs housing diversity, as it is what makes good communities. Having \$1 million homes is not healthy. They will set a goal at 250, but will not negotiate back and forth on density. He stated it is not something that drives the architectural value of a community.

E. Town of Delafield Plan Commission, Re: Provide direction to staff regarding modification to the Planned Development District # 1 zoning ordinance.

Commissioner Dickenson asked if staff could ask the communities where similar multi-family developments occur, what issues they have experienced. Commissioner Diderrich stated that if given a choice, he would prefer single family homes, but understands the benefits of both and the tradeoffs of the multi-family concept. The Plan Commission asked staff to draft the ordinance that has flexibility to be able to execute both plans.

Engineer Barbeau added a few comments regarding the changes to the code. He explained that senior and office uses will be removed. The developer has created new zones to work from and staff will work with those. Staff will provide flexibility to keep higher density units along I-94 such as duplex and multi-family.

Sixth Order of Business Discussion: None

Seventh Order of Business: Announcements and Planning Items: Next meeting: August 2, 2022.

Eighth Order of Business: Adjournment

Motion by Supervisor Kranick to adjourn the July 12, 2022, Plan Commission meeting at 8:32 p.m. Seconded by Commissioner Dickenson. Motion passed 4-0.

Respectfully submitted,

Dan Green, CMC, WCMC
Administrator-Clerk/Treasurer

Plan Commission Report for August 2, 2022

Scott and Jinga Bence Land Altering Activities N23 W28296 Beach Park Circle Agenda Item No. 5. A.

Applicant:	Scott Bence, owner
Project:	Demolition and new home construction
Requested Action:	Recommendation to Waukesha County for land altering
Zoning:	R-3 Residential, Waukesha County
Location:	N23 W28296 Beach Park Circle

Report

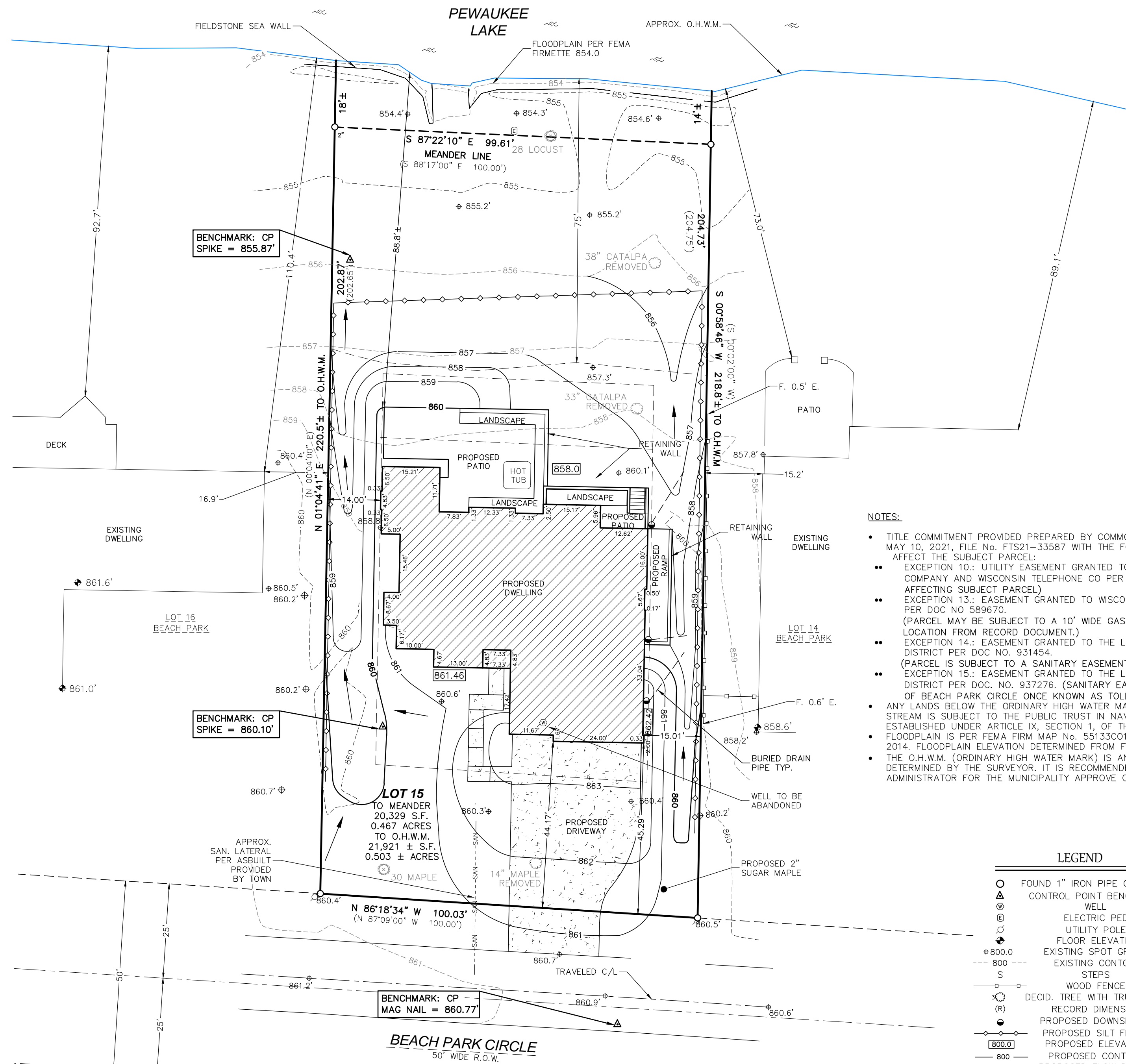
Waukesha County requires a joint public hearing and a recommendation from the Town Plan Commission for certain land altering activities. Mr. Bence is proposing to remove an existing home and build a new home. He has provided a survey showing the new home location and proposed grading on the site. I have met with the County on site and have been working with Mr. Bence to provide a site grading plan that minimizes or eliminates potential drainage related issues at his new house. Water runoff from the sides of the new structure will be accommodated via drainage swales on Mr. Bence's property that will direct water towards Pewaukee Lake. County staff has also seen the proposed plan and to my knowledge, considers the proposed grading and land altering to be acceptable.

Staff Recommendation:

Subject to new information heard during the public hearing, I recommend approval of the site grading plan prepared by LandTech Surveying, dated July 11, 2022 and suggest that the Plan Commission provide an approval recommendation to the County.

Tim Barbeau, Town Engineer
July 28, 2022

PLAT OF SURVEY
LOT 15 OF BEACH PARK SUBDIVISION NO.1 BEING PART OF THE SE 1/4 AND SW 1/4 OF THE SE 1/4 OF SEC 13 AND NE 1/4 AND NW 1/4 OF NE 1/4 OF SECTION 24, T7N., R18E., TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN.



EXISTING IMPERVIOUS SURFACE
DWELLING = 2,786
PATIO(S) = 429
RETAINING WALLS (ONE SQ. FT. PER LINEAL FT.) = 121
DRIVEWAYS = 1,956
STEPS = 32

TOTAL IMPERVIOUS SURFACE AREA = 5,324
LOT SIZE = 21,921
TOTAL PERCENT IMPERVIOUS SURFACE = 24.3%

PROPOSED IMPERVIOUS SQ. FOOTAGE
HOUSE COVERAGE = 3068
GARAGE/STORAGE = 1137
TOTAL COVERAGE = 4205 FOOTPRINT
DRIVEWAY = 1300
FRONT SIDEWALK = 154
RAMP, WALL, & REAR WINDOW WELL = 189
HOT TUB & PATIO = 728
4025 + 2371 SITEWORK = 6576
TOTAL IMPERVIOUS SURFACE AREA = 6,576
LOT SIZE = 21,921
TOTAL PERCENT IMPERVIOUS SURFACE = 29.9%

PROPOSED GRADES PER BUILDER
FINISH YARD GRADE: 863.41/861.46/858.0
GARAGE FLOOR AT DOOR: 863.75
TOP OF GARAGE WALL: 864.42 (9.67' WALL)
BASEMENT FLOOR: 855.0
TOP OF FOOTING: 854.75
DRIVE: 6.7%

SETBACK REQUIREMENTS
FRONT YARD = 35'
WEST SIDE YARD = 14'
EAST SIDE YARD = 15'
LAKE HOUSE = 99.7 (AVERAGE)
LAKE PATIO = 82.8' (AVERAGE)



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771

NOTES:

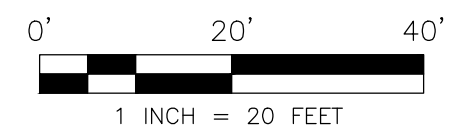
- TITLE COMMITMENT PROVIDED PREPARED BY COMMONWEALTH LAND TITLE DATED MAY 10, 2021, FILE No. FTS21-33587 WITH THE FOLLOWING EASEMENTS THAT MAY AFFECT THE SUBJECT PARCEL:
 - EXCEPTION 10.: UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE CO PER DOC NO. 354373. (NOT AFFECTING SUBJECT PARCEL)
 - EXCEPTION 13.: EASEMENT GRANTED TO WISCONSIN NATURAL GAS COMPANY PER DOC NO. 589670. (PARCEL MAY BE SUBJECT TO A 10' WIDE GAS EASEMENT. CANNOT DETERMINE LOCATION FROM RECORD DOCUMENT.)
 - EXCEPTION 14.: EASEMENT GRANTED TO THE LAKE PEWAUKEE SANITARY DISTRICT PER DOC NO. 931454. (PARCEL IS SUBJECT TO A SANITARY EASEMENT)
 - EXCEPTION 15.: EASEMENT GRANTED TO THE LAKE PEWAUKEE SANITARY DISTRICT PER DOC. NO. 937276. (SANITARY EASEMENT FALLS WITHIN THE LIMITS OF BEACH PARK CIRCLE ONCE KNOWN AS TOLL DRIVE)
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- FLOODPLAIN IS PER FEMA FIRM MAP No. 55133C0191G, MAP REVISED NOVEMBER 5, 2014. FLOODPLAIN ELEVATION DETERMINED FROM FEMA FIRMETTE. ELEV: 854.0.
- THE O.H.W.M. (ORDINARY HIGH WATER MARK) IS AN APPROXIMATE LOCATION DETERMINED BY THE SURVEYOR. IT IS RECOMMENDED THAT THE ZONING ADMINISTRATOR FOR THE MUNICIPALITY APPROVE OR SET THE O.H.W.M. ELEVATION.

LEGEND

- FOUND 1" IRON PIPE OR NOTED CONTROL POINT BENCHMARK
- WELL
- ELECTRIC PED
- UTILITY POLE
- FLOOR ELEVATION
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- STEPS
- WOOD FENCE
- DECID. TREE WITH TRUNK DIA.
- RECORD DIMENSION
- PROPOSED DOWNSPOUT
- PROPOSED SILT FENCE
- PROPOSED ELEVATION
- PROPOSED CONTOUR
- PROPOSED FLOW DIRECTION

BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE SOUTH LINE OF LOT 15 BEACH PARK SUBDIVISION NO. 1 MEASURED AS N86°18'34"W.

VERTICAL DATUM IS NAVD 88 (GEOID 12A)



REV.	05/31/2022	REVISED GRADING AND MOVED HOME
REV.	06/16/2022	REVISED GRADING, MOVED HOME, UPDATED IMPERVIOUS
REV.	7/1/2022	REVISED GRADING, HOUSE ELEVATIONS, WELL, SAN. LAT.
REV.	7/1/2022	SWALE REV.
LOCATION	N23W28296 BEACH PARK CIRCLE PEWAUKEE, WI 53072	
CHECKED BY	JOO	MTO
DRAWN BY	JOO	
CLIENT	SCOTT BENCE	
PROJECT	HOME CONSTRUCTION	
LAYOUT	PLAT OF SURVEY	
DRAWING	21232_SURVEY.DWG	
DATE	4/28/2021	
JOB NO.	21232	
SHEET	1 OF 1	

Plan Commission Report for August 2, 2022
229 Lynndale Road, LLC Certified Survey Map
Agenda Item No. 5. B. 1.

Applicant:	Tom Beaudry, owner
Project:	Land Split
Requested Action:	Approval of Certified Survey Map
Zoning:	M-1 Industrial
Location:	N47 W28229 Lynndale Road

Report

The applicant is requesting approval of a Certified Survey Map (CSM) to split an existing 19.888 acre parcel of land into two Lots (Lot 1, 7.385 acres and Lot 2, 11.326 acres) and an Outlot. Lot 1 (westerly lot) would contain the existing Cassandra's Motorsports business. Lot 2 (easterly lot) would be for the proposed Lake Country Toy Box development. The outlot would be for the stormwater management facility that serves both lots. Each lot meets the frontage and size requirements of the M-1 zoning district. Access to Lot 2 would be via a shared driveway off of CTH JK. Waukesha County Public Works Department has approved the use of a shared driveway to both lots without any improvements to the entrance. The Town requires shared driveways to have a driveway agreement recorded with the CSM. The draft driveway agreement has been provided to staff for review. Wetlands located in the southeast portion of Lot 2 have been delineated by Heartland Ecological Group and shown on the CSM. Both lots would be served by on-site holding tanks.

The surveyor has addressed all technical comments identified in my review of the CSM. The CSM has to be reviewed by Waukesha County Planning Division. The City of Pewaukee has waived their extra-territorial plat review right. No comments have been received from the County as of the date of this report.

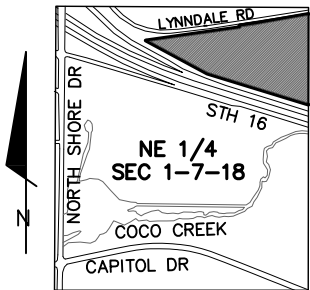
Staff Recommendation:

I recommend approval of the Certified Survey Map as presented at this meeting subject to incorporation of any and all Waukesha County review comments and subject to submission and approval (by the Town Engineer and Administrator) of a shared driveway agreement prior to execution of the CSM by Town officials.

Tim Barbeau, Town Engineer
 July 28, 2022

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:



LOCATION MAP
NE 1/4 SECTION 1-7-18 &
SCALE 1"=2000'

ALL BEARINGS REFER TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 1, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD27) BEARING OF S 01°09'30" E.

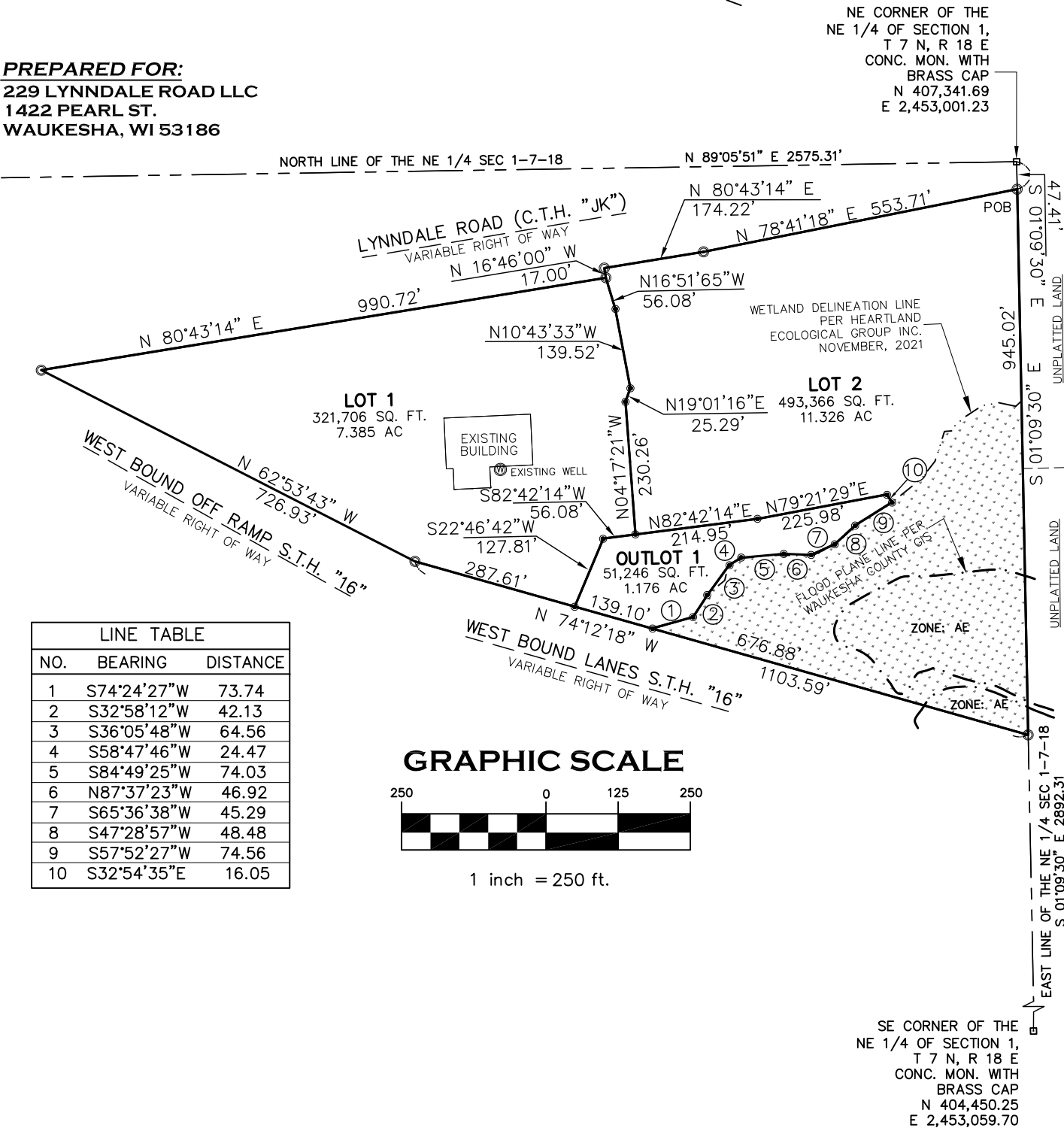
- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
- INDICATES 1.5 INCH DIA. IRON ROD FOUND.



civil design and consulting

9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com

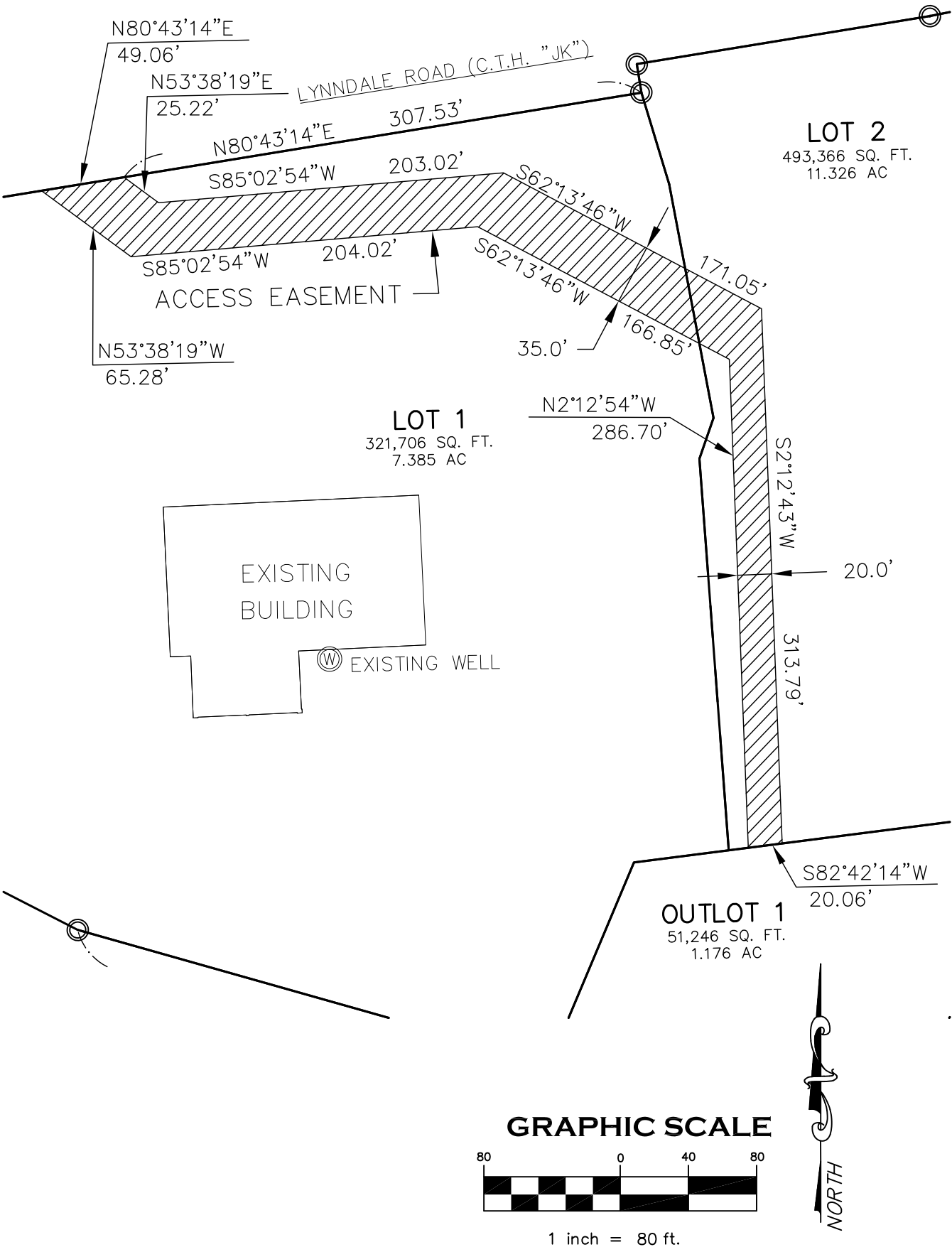
PREPARED FOR:
229 LYNNDALE ROAD LLC
1422 PEARL ST.
WAUKESHA, WI 53186



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:


civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com



CERTIFIED SURVEY MAP NO.

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, CHRISTOPHER A. JACKSON, A REGISTERED LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED AND MAPPED A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID 1/4 SECTION; THENCE S 01°09'30" E 47.41 FEET ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION; TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 01°09'30" E 945.02 FEET ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION TO THE NORTH LINE OF STATE TRUNK HIGHWAY "16"; THENCE N 74°12'18" W 1103.59 FEET ALONG SAID NORTH LINE; THENCE N 62°53'43" W 726.93 FEET ALONG SAID NORTH LINE OF STATE TRUNK HIGHWAY "16" TO THE SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK"; THENCE N 80°43'14" E 990.72 FEET ALONG SAID SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK"; THENCE N 16°46'00 W 17.00 FEET; THENCE N 80°43'14" E 174.22 FEET ALONG THE SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK"; THENCE N 78°41'18" E 553.71 FEET ALONG SAID SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK" TO THE POINT OF BEGINNING.

CONTAINING: 866,320 SQUARE FEET, OR 19.8880 ACRES.

THAT I HAVE MADE SUCH SURVEY AND MAP BY THE DIRECTION OF BROOK INVESTMENTS GLOBAL LIMITED, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, THE TOWN OF DELAFIELD, THE CITY OF DELAFIELD AND THE COUNTY OF WAUKESHA PARKS AND LAND USE.

DATED THIS _____ DAY OF _____, 2022.

CHRISTOPHER A. JACKSON, P.L.S.
REGISTERED LAND SURVEYOR, S-2851
STATE OF WISCONSIN

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

CORPORATE OWNER'S CERTIFICATE

229 LYNNDAL ROAD, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 236 OF STATUTES OF THE STATE OF WISCONSIN. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF DELAFIELD AND THE COUNTY OF WAUKESHA PARKS AND LAND USE.

DATED THIS_____DAY OF_____, 2022.

THOMAS J. BEAUDRY, AUTHORIZED SIGNATURE
229 LYNNDAL ROAD, LLC

STATE OF WISCONSIN) SS
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS_____DAY OF_____, 20____, THE ABOVE THOMAS J. BEAUDRY, AUTHORIZED SIGNATURE OF 229 LYNNDAL ROAD, LLC. ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES_____

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

TOWN PLAN COMMISSION APPROVAL

APPROVED BY THE PLAN COMMISSION, TOWN OF DELAFIELD, THIS _____ DAY OF _____, 2022.

KEVIN FITZGERALD—CHAIRMAN

DAN GREEN—CLERK

TOWN PLAN BOARD APPROVAL

APPROVED BY THE TOWN BOARD, TOWN OF DELAFIELD, THIS _____ DAY OF _____, 2022.

RON TROY—CHAIRMAN

DAN GREEN—CLERK

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

RESOLVED THAT THE ABOVE CERTIFIED SURVEY MAP WHICH HAS BEEN FILED FOR APPROVAL AS REQUIRED BY CHAPTER 236, WISCONSIN STATUTES, IS HEREBY APPROVED THIS _____ DAY OF _____, 2022.

DALE R. SHAVER—DIRECTOR

Plan Commission Report for August 2, 2022

Cassandra's Motorsports Agenda Item No. 5. B. 2. and 5. B. 3.

Applicant:	Thomas Beaudry, 220 Lynndale Road, LLC
Project:	Cassandra's Motorsports Showroom Expansion
Requested Action:	2. Approval of amendment to the current legal nonconforming conditional use permit 3. Approval of the Site Plan and Plan of Operation
Zoning:	M-1 Industrial
Location:	N47 W28229 Lynndale Road

Report

The applicant is requesting a Conditional Use amendment to expand the showroom at Cassandra's Motorsports and update of the property description due to reducing the lot size. The change in the property legal description reflects the land split being proposed on the parent parcel. The showroom expansion would add 7,976 square feet to the west side of the existing building. The proposed building meets all setbacks and offsets. Open space on Lot 1 will be 65% taking into account a portion of Outlot 1, which is set aside for stormwater management. The overall site development (Cassandra's Motorsports and Lake Country Toy Box) results in an open space of 67% (code requires 65%). There are currently 30 marked parking stalls on the lot for employee and patron parking. The parking code requirement for "industrial" properties is 1 stall per 200 square feet. A strict interpretation of the parking code would result in the requirement of 117 stalls. There is a code provision that allows the Plan Commission to determine the parking requirement for uses that are not listed in the parking code standards. Since there is no specific parking code standard for automobile dealership lots in the code, the Plan Commission can determine whether the number of stalls provided is adequate for the site. I have requested information from the owner to support no increase in the number of parking stalls on site. There are open paved areas to the east on the site for overflow parking.

Other than the building, the only other improvements slated for this site include a 20 foot strip of asphalt on the north and south side of the addition and the reconstruction of the dumpster enclosure north of its current location since it is in conflict with the proposed expansion plan.

Building Plan

The building materials will be two-color insulated metal panels and a metal roof. Colors are shown in the architectural plans provided.

Site/Grading /Landscaping/Lighting Plan

Other than the addition, asphalt to the north and south of the new building and relocated dumpster enclosure, no other site changes are being proposed. The floor elevation of the addition will match the elevation of the current building. The grade from the building will slope off to the north, west and south and not affect the current drainage pattern. Landscaping is being proposed for the south and west sides of the building and on the north side of the relocated dumpster. Plantings include

Type	Amount	Size
Broadleaf deciduous trees	6	3" caliper
Conifer evergreen trees	11	3' to 7'
Perennial grasses	23	1 gallon

No new lighting is being proposed for the addition.

Plan of Operation

No changes are being proposed for the plan of operation. Previously approved hours are as follows:

Sales	Monday-Friday	9 am to 6 pm
	Saturday	10am to 3 pm
	Sunday	closed
Service	Monday-Friday	7am to 4pm
	Saturday	closed
	Sunday	closed

Signage

Signage will remain as presently positioned on site.

Staff Recommendation:

Conditional Use Permit Amendment: The applicant has addressed and provided evidence for all required items associated with the request for a Conditional Use Amendment. I have no concerns related to the site, site grading and landscape plans presented. I look for the input from the Plan Commission on the colors and materials for the exterior architecture of the building and the allowance of a reduction in the parking requirements for the site based on the proposed use. A draft conditional use amendment allowing the expansion of the building and change in the property description is provided for your consideration. I recommend approval of the Conditional Use Amendment and that no additional parking is necessary for the proposed operation.

Site Plan/Plan of Operation: The applicant has provided complete site, site grading, landscape and architectural plans. The Plan of Operation is not changing. Subject to any comments related to the Conditional Use Permit heard at the public hearing, I recommend approval of the following plans:

- Site Plan and Site Grading Plan (as it relates to the Cassandra's Motorsports Expansion) prepared by CJ Engineering dated 7/12/22.

- Landscape Plan (as it relates to the Cassandra's Motorsports Expansion) prepared by InSite Landscape Design dated 7/12/22
- Architectural Plans (as it relates to the Cassandra's Motorsports Expansion) prepared by Galbraith, Carnahan Architects, LLC dated 7/12/22.

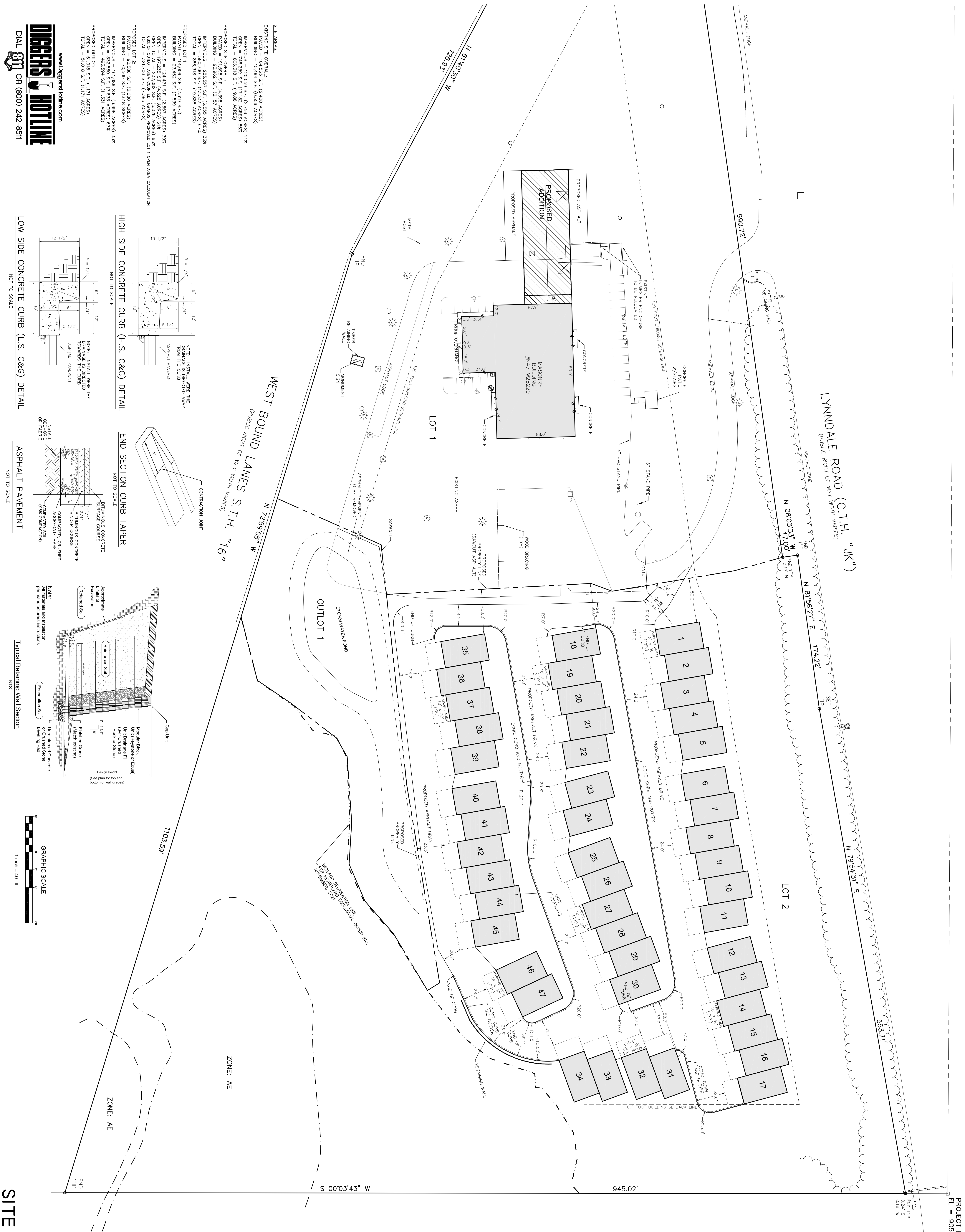
Tim Barbeau, Town Engineer
July 28, 2022



TOY BOX - LYNNDALE ROAD
TOWN OF DELAFIELD, WISCONSIN

CUE NO.: CUE168R1
JUNE 14, 2022

SITE PLAN
C1.0



SITE AREAS:

EXISTING SITE OVERALL:
PAVED = 104,569 S.F. (2.400 ACRES)
BUILDING = 15,795 S.F. (0.359 ACRES)
OPEN W/25% SLOPE = 12,471 S.F. (0.285 ACRES) 14%
OPEN W/25% SLOPE = 12,471 S.F. (0.285 ACRES) 14%
TOTAL = 866,318 S.F. (19.888 ACRES) 98%

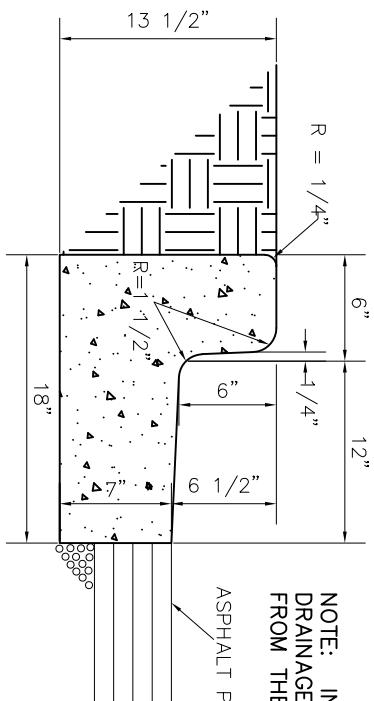
PROPOSED SITE OVERALL:
PAVED = 191,593 S.F. (4.398 ACRES)
BUILDING = 35,982 S.F. (0.817 ACRES)
OPEN W/25% SLOPE = 12,471 S.F. (0.285 ACRES) 14%
OPEN W/25% SLOPE = 12,471 S.F. (0.285 ACRES) 14%
TOTAL = 866,318 S.F. (19.888 ACRES) 97%

PROPOSED LOT 1:
PAVED = 101,009 S.F. (2.319 S.F.)
BUILDING = 35,982 S.F. (0.817 ACRES)
OPEN W/25% SLOPE = 12,471 S.F. (0.285 ACRES) 14%
OPEN W/25% SLOPE = 12,471 S.F. (0.285 ACRES) 14%
TOTAL = 866,318 S.F. (19.888 ACRES) 97%

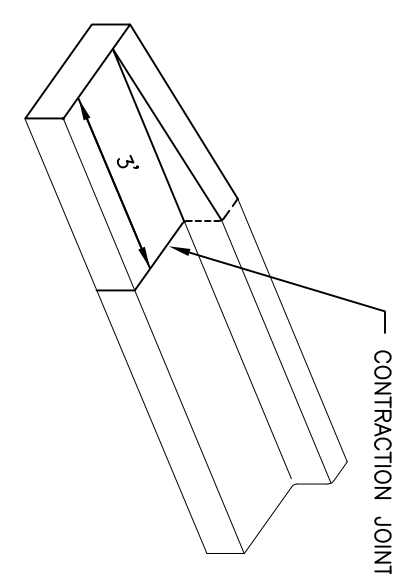
PROPOSED LOT 2:
PAVED = 90,584 S.F. (2.089 ACRES)
BUILDING = 10,500 S.F. (0.241 ACRES)
OPEN W/25% SLOPE = 18,106 S.F. (0.415 ACRES) 33%
OPEN W/25% SLOPE = 18,106 S.F. (0.415 ACRES) 33%
TOTAL = 443,594 S.F. (10.131 ACRES) 67%

PROPOSED OUTLOT:
OPEN = 51,018 S.F. (1.171 ACRES)
TOTAL = 51,018 S.F. (1.171 ACRES)

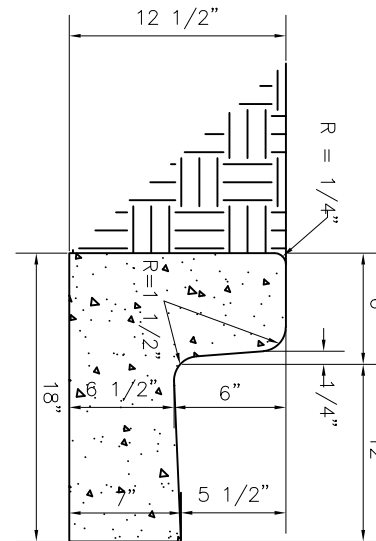
HIGH SIDE CONCRETE CURB (H.S. C&G) DETAIL
NOT TO SCALE



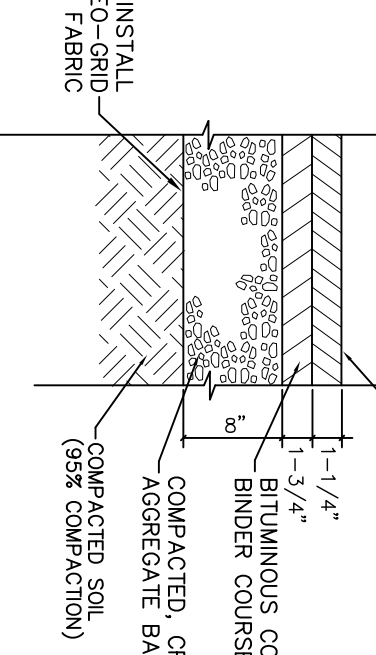
END SECTION CURB TAPER
NOT TO SCALE



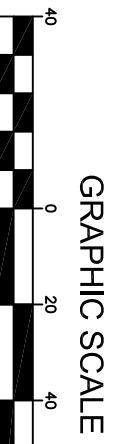
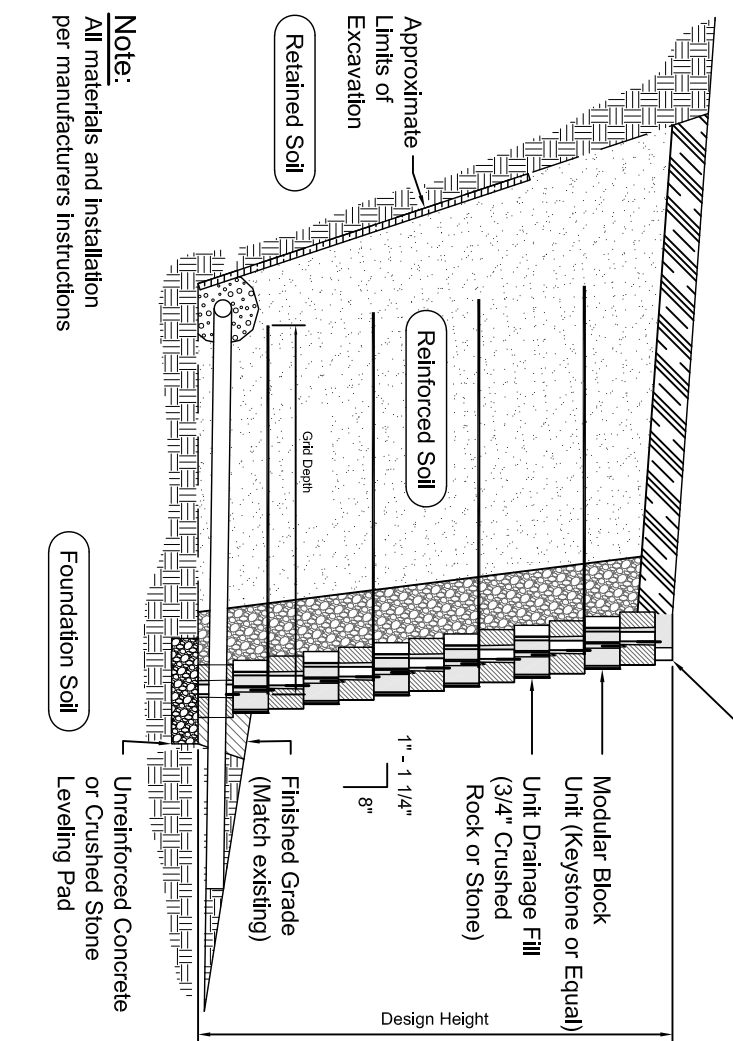
LOW SIDE CONCRETE CURB (L.S. C&G) DETAIL
NOT TO SCALE



ASPHALT PAVEMENT
NOT TO SCALE



Typical Retaining Wall Section
NTS



Document Number	Document Title
<p align="center">TOWN OF DELAFIELD CONDITIONAL USE AMENDMENT</p> <p align="center">CASSANDRA CASTRO & THOMAS BEAUDRY DOING BUSINESS AS:</p> <p align="center">CASSANDRA'S MOTORSPORTS, LLC</p> <p align="center">N47 W28229 LYNNDAL ROAD WAUKESHA COUNTY, WISCONSIN</p>	
<p>WHEREAS, Cassandra Castro and Thomas Beaudry, (Petitioner) doing business as Cassandra's Motorsports, LLC, property owner, have petitioned the Town of Delafield to grant a Conditional Use Amendment under Section 17.05 5 K. Legal Nonconforming Conditional Uses to allow for the expansion of the showroom at their existing facility, N47 W28229 Lynndale Road and a change in the property boundaries, and</p>	
<p align="right">Recording Area</p> <p align="right">Name and Return Address</p> <p align="right">Town of Delafield N14 W30782 Golf Road Delafield, WI 53018-2117</p>	
<p align="right">DELTA 0721-999</p> <p align="right">Parcel Identification Number (PIN)</p>	

WHEREAS, the legal description for the subject property is:

Lot 1 of CSM _____, recorded as Document No. _____, Waukesha County Register of Deeds and dated _____.

WHEREAS, the land is currently zoned M-1, Industrial District, and

WHEREAS, the M-1 district requires that all vehicles (other than employee and visitor parking), when not in use shall be stored inside except where it is demonstrated that such storage can be adequately shielded from view by a planting screen or decorative fencing, and

WHEREAS, there is no planting screen or decorative fencing that shields the vehicles stored outside from view, resulting in a legal nonconforming use, and

WHEREAS, the Town removed the "Other Uses" category from the Conditional Use section of the code in Ordinance No. 2019-06 adopted on December 10, 2019, and

WHEREAS, the applicants have requested approval for an amendment to their Conditional Use Permit for an expansion of the showroom and a change in the property boundaries, and

WHEREAS, a public hearing was held on August 2, 2022, to hear all parties regarding this matter, and

WHEREAS, the Town of Delafield Plan Commission has given the matter due consideration, and the Town Board has based its determination on the effect of granting a Conditional Use permit on the health, general welfare, safety and economic prosperity of the Town and specifically of the immediate neighborhood in which said use is located, and has given due consideration as to the effect of the Conditional Use on the established character and quality of the area, the rights of the adjoining owners, the overall appearance, the landscaping, the type of construction, the movement of traffic, parking, the demand for related services, the possible hazardous, harmful, noxious, offensive or nuisance effect on the neighborhood as a result of noise, dust, smoke, odor or other similar factors, and has determined that a Conditional Use would be appropriate provided that the Conditional Use is operated pursuant to the following conditions and in strict compliance with the same.

FINDINGS OF FACT¹

1. The statements made in the preamble, above, are incorporated herein by reference, and constitute findings of the Town Board.
2. The Town Board finds that the Petitioner has shown by substantial evidence that all standards of the Zoning Ordinance related to the proposed use will be met, and substantial evidence to the contrary has not been provided.
3. In particular, the Town Board finds that the proposed use will not be adverse to public health, safety or welfare, upon substantial evidence that the use will be consistent with the existing Conditional Use Permit. No substantial evidence was provided to the contrary.
4. The Town Board finds that the proposed use is consistent with the spirit or intent of the code chapter related to conditional uses and that no substantial evidence to the contrary was provided.
5. The Town Board finds that the proposed use is not otherwise detrimental to the community and particularly the surrounding neighborhood, upon substantial evidence submitted by the Petitioner. No substantial evidence was presented to the contrary.

CONCLUSIONS OF LAW²

1. The existing Conditional Use Permit allows for the use of the subject property as a restaurant and tavern, and the existing Conditional Use Permit allows amendments to the Conditional Use Permit for any change, alteration or addition to the use or premises.

¹To the extent that findings of fact shown herein represent conclusions of law, these shall be deemed to be conclusions of law. To the extent that conclusions of law shown herein represent findings of fact, these shall be deemed to be findings of fact. The heading under which the statements are made shall not be controlling.

²See footnote 1.

2. The Petitioner has demonstrated by substantial evidence that the standards of the ordinance will be met, and no substantial evidence was provided to the contrary.
3. The Town Engineer has proposed numerous conditions upon the use and the Town Board determines that the conditions are reasonable, and are based upon substantial evidence, and the Petitioner has demonstrated that the Petitioner will comply with the conditions required by the Town Engineer and this Conditional Use Order.
4. The Petitioner has agreed to meet all requirements and conditions in this Conditional Use Permit.

THEREFORE, IT IS ORDERED AS FOLLOWS:

Commencing upon the date hereof, a Conditional Use permit for the subject premises is hereby granted. The Conditional Use permit herein shall apply only to use of the premises as described above and the Conditional Use permit shall continue in existence only so long as the Conditional Use is operated in compliance with this permit. This Conditional Use permit is subject to initial and continued compliance with each and every one of the following conditions, restrictions, and limitations.

- A. All conditions of the Conditional Use Permit recorded as Document 4652257 in the Waukesha County Register of Deeds on February 17, 2022 shall remain in place and be adhered to.
- B. The Petitioner shall be allowed to expand the showroom of the facility by 7,976 square feet in accordance with the engineering, landscape and architectural plans dated July 12, 2022 plans prepared by CJ Engineering, InSite Landscape Design and Galbraith, Carnahan Architects, respectively.
- C. Use of the showroom shall be for new or pre-owned vehicles and watercraft.
- D. The premises shall be modified to be Lot 1 of CSM _____, recorded as Document No. _____, Waukesha County Register of Deeds and dated _____.

Let copies of this order be filed in the permanent records of the Town Board of the Town of Delafield, let a copy of this permit be recorded at the Waukesha County Register of Deeds as a covenant on the title for the premises for which this Conditional Use is granted, and let copies be sent to the proper Town authorities and the grantee.

Approved this _____ day of _____, 2022.

TOWN OF DELAFIELD

Ronald A. Troy, Town Chair

Daniel Green, Town Clerk

APPROVAL

We hereby accept the terms of this Conditional Use in their entirety.

Dated this ____ day of _____, 2022.

Cassandra Castro, Cassandra's Motorsports, LLC

Thomas Beaudry, Cassandra's Motorsports, LLC

This document drafted by Timothy G. Barbeau, P.E., P.L.S. (7/28/22)

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Town of Delafield, WI
Decision Worksheet
Legal Nonconforming Conditional Use Amendment
Cassandra's Motorsports
7/28/22

The State of Wisconsin has preempted municipal authority regarding conditional use permits in a number of respects, effective November 29, 2017. Decisions concerning conditional use permits now must be based upon "substantial evidence," which is defined as follows:

"Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion."

Note two additional requirements of the new laws:

- Any condition imposed must relate to the purpose of the ordinance and be based on substantial evidence. In addition, conditions must be reasonable and to the extent practicable, measurable.
- If an applicant for a conditional use permit meets or agrees to meet all requirements and conditions specified in the ordinance, or those imposed by the Town of Delafield, the conditional use permit must be granted.

This decision sheet is provided as a tool to work through the decision-making process in light of the new statutory requirements and applicable Town of Delafield ordinances. As this is one of the first times the Town of Delafield has operated under the new conditional use laws, we will reserve the ability to proceed differently than outlined in this decision sheet if we find it is appropriate to do so.

	A Is Condition/ Requirement Applicable? (See explanation at end of table)	B Has Applicant Provided Substantial Evidence? (See explanation at end of table)	C Has Substantial Evidence to the Contrary Been Provided? (See explanation at end of table)	D Is Condition/ Requirement Met? (See explanation at end of table)
Specific Conditional Use Amendment Conditions per Town staff				
a.	<u>Yes</u> No	<u>Yes</u> No	Yes <u>No</u>	<u>Yes</u> No
Substantial Evidence:				
b. Must adhere to all site, site grading, landscape and architectural plans dated 7/12/2022.	<u>Yes</u> No	<u>Yes</u> No	Yes <u>No</u>	<u>Yes</u> No
Substantial Evidence: Owner agrees to implement approved plans.				
c. Types of vehicles allowed to displayed in showroom, for sale shall be exotic and classic new or pre-owned vehicles and watercraft. Vehicles and watercraft are defined in the conditional use document.	<u>Yes</u> No	<u>Yes</u> No	Yes <u>No</u>	<u>Yes</u> No
Substantial Evidence: Use of the showroom is similar to what was approved for Cassandra's Motorsports Plan of Operation				
d.	Yes No	Yes No	Yes No	Yes No
Substantial Evidence				
e.	Yes No	Yes No	Yes No	Yes No
Substantial Evidence:				
f.	Yes No	Yes No	Yes No	Yes No
Substantial Evidence:				
g.	Yes No	Yes No	Yes No	Yes No
Substantial Evidence:				

A: Is the condition or requirement applicable? Specifically, is it related to the purpose of the ordinance, based on substantial evidence, reasonable, and to the extent practicable, measurable? If the answer is "no", conditions that fail this test must be removed or revised to satisfy the test.

B: Does the Town of Delafield find that the applicant has provided substantial evidence to show that the applicant meets or agrees to meet this condition/requirement?

C: Has substantial evidence been provided to the contrary, showing that the applicant cannot meet the condition or requirement?

D: Does the Town of Delafield find, based upon substantial evidence presented, that the applicant meets or has agreed to meet this condition/requirement?

	A	B	C	D
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	Is Condition/ Requirement Applicable? (See explanation at end of table)	Has Applicant Provided Substantial Evidence? (See explanation at end of table)	Has Substantial Evidence to the Contrary Been Provided? (See explanation at end of table)	Is Condition/ Requirement Met? (See explanation at end of table)
Basis of Approval Sec. 17.05 2.				
a. The determination of whether to approve or deny or conditionally approve such conditional use shall be made by the Town Plan Commission, and shall be based on the consideration of whether or not the proposed use will:				
1. Violate the spirit or intent of the chapter				
2. Be contrary to the public health, safety or general welfare.	<u>Yes</u>	No	<u>Yes</u>	No
3. Be hazardous, harmful, noxious, offensive or a nuisance by reason of noise, dust, smoke, odor or other similar factors.			Yes	<u>No</u>
4. Cause an adverse effect on property values and general desirability of the neighborhood				<u>Yes</u>
Substantial Evidence: The Town determined many years ago that an auto dealership was an acceptable business for this property. There was no indication as to the zoning of the property when first approved in 1977. The intent of the M-1 district is for commercial operation that complements the surrounding area and are not detrimental thereto. The site is along STH 16 and has no direct residential neighbors. A successful operation of the business and clean up of the site will improve the desirability of the neighborhood.				
b. Except as may be specifically otherwise provided for by this code, any such use shall conform to any building location, height, area, yards, parking, loading, traffic and highway access regulations of the district in which it is located. The Town Plan Commission may also require compliance with such other conditions as may be deemed necessary by the specific situation.	<u>Yes</u>	No	<u>Yes</u>	No
Substantial Evidence: The existing structure and lot meets all requirements of the zoning ordinance (setbacks, offsets, open space (have 85%, 65% req'd) per Town Engineer's analysis.				

- A:** Is the condition or requirement applicable? Specifically, is it related to the purpose of the ordinance, based on substantial evidence, reasonable, and to the extent practicable, measurable? If the answer is "no", conditions that fail this test must be removed or revised to satisfy the test.
- B:** Does the Town of Delafield find that the applicant has provided substantial evidence to show that the applicant meets or agrees to meet this condition/requirement?
- C:** Has substantial evidence been provided to the contrary, showing that the applicant cannot meet the condition or requirement?
- D:** Does the Town of Delafield find, based upon substantial evidence presented, that the applicant meets or has agreed to meet this condition/requirement?

Performance Standards – Sec 17.05 4. F.		A Is Condition/ Requirement Applicable? (See explanation at end of table)		B Has Applicant Provided Substantial Evidence? (See explanation at end of table)		C Has Substantial Evidence to the Contrary Been Provided? (See explanation at end of table)		D Is Condition/ Requirement Met? (See explanation at end of table)	
1.	No operation or activity shall emit any substance or combination of substances in such quantities that create an objectionable odor								
	Substantial Evidence: Showroom only								
2.	<p>a. All uses involving the manufacturing, utilization, processing, or storage of flammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion and with adequate firefighting and fire suppression equipment and devices as may be required by the Fire Prevention Code.</p> <p>b. All materials that range from active to intense burning shall be manufactured, utilized, processed, and stored only in completely enclosed buildings which have noncombustible exterior walls and an automatic fire extinguishing system.</p> <p>c. The storage of fuels and other materials that produce flammable or explosive vapors shall be permitted only after review and approval by the Town of Delafield Fire Department and in accord with their requirements to minimize fire and explosive hazards.</p>								
	Substantial Evidence: No manufacturing in the showroom.								
3.	<p>a. No operation or activity shall produce any intense lighting, glare or heat with the source directly visible beyond the boundary of the property line. Operations producing light, glare, or heat shall be conducted within an enclosed building.</p> <p>b. External lighting shall be shielded so that light rays do not adversely affect adjacent uses.</p>	<u>Yes</u>	No	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
	Substantial Evidence: All uses will take place inside. No new lighting outside								
4.	<p>a. No activity shall locate, store, or permit the discharge of any treated, untreated, or inadequately treated liquid, gaseous, or solid materials of such nature, quantity, obnoxiousness, toxicity or temperature that might runoff, seep, percolate, or wash into surface or subsurface waters so as to contaminate, pollute or harm such waters or cause nuisances such as objectionable shore deposits, floating or submerged debris, oil or scum, color, odor, taste or unsightliness, or be harmful to human, animal, plant, or aquatic life.</p> <p>b. No activity shall withdraw water or discharge any liquid or solid materials so as to exceed or contribute toward exceeding the minimum standards and those other standards and the</p>	<u>Yes</u>	No	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

Performance Standards – Sec 17.05 4. F.					A		B		C		D	
					Is Condition/ Requirement Applicable? (See explanation at end of table)		Has Applicant Provided Substantial Evidence? (See explanation at end of table)		Has Substantial Evidence to the Contrary Been Provided? (See explanation at end of table)		Is Condition/ Requirement Met? (See explanation at end of table)	
application of those standards set forth in Wis. Adm. Code NR 102 or in other applicable Chapters which regulate water quality.												
Substantial Evidence: By nature of the business, there will be no effects on water quality.												
5 No operation or activity shall transmit any noise beyond the boundaries of the property so that it becomes a nuisance.					Yes	No	Yes	No	Yes	No	Yes	No
Substantial Evidence: All showroom use will be indoors.												
<div>No operation or activity shall transmit any physical vibration that is above the vibration perception threshold of an individual at or beyond the property line of the source. Vibration perception threshold means the minimum ground- or structure-borne vibrational motion necessary to cause a reasonable person to be aware of the vibration by such direct means as, but not limited to, sensation by touch or visual observation of moving objects. b. Vibrations not directly under the control of the property user and vibrations from temporary construction or maintenance activities shall be exempt from the above standard.</div>					Yes	No	Yes	No	Yes	No	Yes	No
Substantial Evidence: Showroom use does not cause vibrations. This is not a manufacturing facility.												
7 The Plan Commission reserves the right to require a traffic impact study in order to identify impacts to adjacent properties and roadways and to identify improvements or actions required to minimize or eliminate impacts. No use shall be approved unless the applicant implements the conclusions and recommendations of the study unless otherwise approved by the Plan Commission.					Yes	No	Yes	No	Yes	No	Yes	No
Substantial Evidence: Substantial increase in use is not expected. Showroom is to keep more vehicles inside.												

- A:** Is the condition or requirement applicable? Specifically, is it related to the purpose of the ordinance, based on substantial evidence, reasonable, and to the extent practicable, measurable? If the answer is “no”, conditions that fail this test must be removed or revised to satisfy the test.
- B:** Does the Town of Delafield find that the applicant has provided substantial evidence to show that the applicant meets or agrees to meet this condition/requirement?

C: Has substantial evidence been provided to the contrary, showing that the applicant cannot meet the condition or requirement?

D: Does the Town of Delafield find, based upon substantial evidence presented, that the applicant meets or has agreed to meet this condition/requirement?

Proposed Motions - Plan Commission

A. Motion to Recommend Approval:

I move to recommend to the Town Board Approval of the conditional use amendment for Cassandra's Motorsports, LLC as presented to the Town of Delafield Plan Commission and as agreed to by the applicant.

[include only if applicable:]

☐ The conditions stated within the conditional use order shall be modified in the manner described in the Town of Delafield's discussion.

B. Motion to Recommend Denial:

I move to recommend to the Town Board Denial of the conditional use amendment as the applicant has failed to show by substantial evidence that the applicant meets or agrees to meet all of the requirements and conditions specified in the Town of Delafield Zoning Ordinance or those imposed by the Town of Delafield, and substantial evidence in the matter supports the decision to deny.

Proposed Motions – Town Board

A. Motion to Approve:

I move to grant the conditional use amendment for Cassandra's Motorsports, LLC as presented by the Town of Delafield Plan Commission and as agreed to by the applicant. The Town of Delafield staff is directed to draft the conditional use order and place it in final form consistent with the Town of Delafield's discussion.

[include only if applicable:]

☐ The conditions stated within the conditional use order shall be modified in the manner described in the Town of Delafield's discussion.

B. Motion to Deny:

I move to deny the conditional use amendment as the applicant has failed to show by substantial evidence that the applicant meets or agrees to meet all of the requirements and conditions specified in the Town of Delafield Zoning Ordinance or those imposed by the Town of Delafield, and substantial evidence in the matter supports the decision to deny. The Town of Delafield staff is directed to draft a written decision for denial and place it in final form consistent with the Town of Delafield's discussion.

Plan Commission Report for August 2, 2022

Lake Country Toy Box Agenda Item No. 5. B. 4.

Applicant: Tom Beaudry, owner

Project: Lake Country Toy Box

Requested Action: Approval of site, grading/drainage, landscaping, lighting, architectural plans, and plan of operation

Zoning: M-1 Industrial

Location: N47 W28229 Lynndale Road

Report

The proposal from Mr. Beaudry is to construct forty-seven (47) 30' x 50' vehicle storage unit condominiums on a parcel to be split off of lands currently containing Cassandra's Motorsports. The intent is for storage of vehicles, boats and motorhomes. The property is zoned M-1 Industrial District. Uses allowed in the M-1 district include "industrial and commercial operations, the character of which complements the surrounding area and which are not for any reason detrimental thereto." On May 3, 2022, the Plan Commission was presented with the project concept. At that time, there was a question as to whether the units would be considered self-storage units requiring a Conditional Use Permit or would the use fall under the M-1 regulations and only require a site plan/plan of operation approval. After that meeting, the owner stated that the storage units were not going to be for lease, but rather to be sold as condominium units. The definition in our code for self-storage units is "a facility consisting of individual self-contained storage units or spaces leased to individuals..." Based on the fact that the units will not be leased, staff concluded that a Conditional Use was not required for this use and it should be evaluated based on the requirements of the M-1 district.

Zoning Requirements

Element	Required	Proposed
No. of buildings	N/A	47
Setback	100 feet	227 feet from STH 16 104 feet from CTH JK
Offset	50 feet	50 feet
Lot Area	3 acres	11.3 acres
Lot Width	200 feet	727.9 feet
Floor Area	No minimum	70,500 s.f.
Open Space	65%	67%

"Additional Regulations" listed in the M-1 district, and my comments (in italics) are as follows:

- (1) Building exteriors must be of an attractive material or must be faced with an attractive material such as face brick, natural stone, wood or other substantial materials as approved by the Plan

Commission. *Mr. Beaudry is proposing two-color insulated metal panels; translucent panels (skylight), cable railing for balcony, frosted glass overhead doors and a metal roofing panel*

- (2) The exterior of all structures, fences, planting screens, etc., shall be kept in good condition at all times by painting, trimming or other acceptable maintenance procedures. Subsequent additions or changes in the building and grounds shall conform to or enhance the original construction and be consistent therewith. *Condition of the approval.*
- (3) All appurtenances placed on the roof of any structure such as air conditioning units shall be housed in a penthouse or otherwise screened from view. *No appurtenances are proposed for the roof.*
- (4) All materials and all vehicles (other than employee and visitor parking), when not in use shall be stored inside except where it is demonstrated that such storage can be adequately shielded from view by planting screen or decorative fencing. In no event shall such storage be permitted within the base setback area. *The Plan of Operation states that there will be no outside storage.*
- (5) All parking lots and driveways shall be hard surfaced. *The site development plans indicate that the drive aisles will be paved.*
- (6) Parking lots shall be shielded from adjoining properties by planting screen or decorative fencing and shall not be permitted within the base setback area. *There are no specific parking lots proposed for the development. Parking is provided in front of each unit.*
- (7) All lands not used for buildings, parking lots, driveways, etc., shall be landscaped and kept in good appearance at all times, including required watering of lawns and shrubbery. *Landscape plan provided (see comments below).*
- (8) The site and operational plans shall include design features necessary to ensure that traffic generated by the operation, especially that involving heavy trucks, does not have an adverse effect on existing or planned roads and traffic movement considering especially adequacy, safety and efficiency. *Waukesha County Public Works has reviewed the use and the existing driveway entrance. They indicated that a shared driveway is acceptable and that no improvements are required on CTH JK*
- (9) The operation plan submitted for Plan Commission approval shall specify and quantitatively describe any noise, vibration, dust, gas, smoke, toxic matter and odors produced by the operation and plans for containing or abating such nuisance. *Information has been received from the property owner indicating that there will be no noise, vibration, dust, gas, smoke, toxic matter or odors from the units, except normal vehicle noises and usage. Standard automotive petroleum products will on site.*
- (10) The planned hours of operation and nighttime lighting plans shall be included in the plan of operation submitted for Plan Commission approval. *Hours of operation: 24 hours, 7 days a week. Owner access by gate code or key fob; security cameras to be installed; lighting to be controlled by a timer.*

Site plan

The buildings will be in clusters of 2 to 6 side-by-side units. The doors to the buildings will be oriented to the south and west. Access to the site will be via the existing driveway off of CTH JK. Waukesha County has indicated that no improvements are required on CTH JK and that a shared use driveway is acceptable. A draft shared driveway easement agreement has been provided for staff review. The access easement is shown on the site plan. Access to each unit will be via paved drives. There is an 18' x 30' asphalt parking area in the front of each unit. Aisle widths between the noted parking area and edge of curb is 20.8 feet (minimum) and 24.5 feet typical. A fire truck access movement plan dated 6/14/22 was submitted indicating that a Pierce Arrow XT fire truck

(information provided by Lake Country Fire Department) can make all turning movements throughout the site.

Grading/Paving and Drainage

The existing grade on the site drops from the north to the south by approximately 26 feet in the area being disturbed for the buildings and approximately 7 feet from west to east. The building elevations will step down to the south and to the east to match the existing topography. All aisles will be paved and the southerly extent of the aisle will be curbed to capture the water flow and direct it to a storm sewer system. The storm sewer system will eventually discharge into a stormwater pond proposed for an outlot located south of the lot. Waukesha County reviews the stormwater management plan and has not received the information necessary to perform a complete review of the stormwater management for the site.

Lighting Plan

Lighting on the site will consist of cut-off style wall packs placed in the front of each unit below the upper deck and five (5) pole mounted lights to be located near the northwesterly corner of units 18 and 35, and the northeasterly corner of units 30 and 47. The fifth light will be located southwest of Unit 35. The height of the pole mounted lights will be 18.5 feet above ground level. The dispersion plan indicates that light from the proposed lighting system will not be greater than 0.5 foot-candles at the north and east lot lines. The light at the southwest corner of the site will exceed the 0.5 foot-candle requirement at the lot line, but the excess light will only affect the land on which the storm water pond is located. Pole mounted lights adjacent to lots 18 and 25 has light that exceeds the 0.5 foot-candles by 0.7 to 0.9 foot-candles. Lighting evaluation based on proposed lighting ordinance is as follows:

Requirement	Standard	Proposed
Lumens per s.f. of hardscape	2.5 x 161,068s.f. = 402,670 lumens	267,000 lumens
Height of luminaire on wall	16 feet	12 feet
Average	2 fc	0.3 fc
Uniformity Ratio	12:1	3:1
Pole Height	20 feet	18.5 feet

Landscape Plan

The landscape plan shows proposed landscaping near the entrance of the Toy Box development off of the shared driveway, along the east side of the development extending to the southwest, south of the stormwater pond, trees in the green space north of the middle and southerly tier of storage units and a line of conifers between Lots 1 and 2. Amount and type of plantings are as follows:

Type	Amount	Size
Broadleaf deciduous trees	49	3" caliper
Conifer evergreen trees	55	3' to 7'
Perennial grasses	17	1 gallon

A plant schedule indicating sizes and species of trees is included on the landscape plans.

Architectural

Each unit will be 30' x 50' in size. The unit includes an overhead door, a man door, restroom, mezzanine and balcony. Some overhead doors will be taller than the normal eight or nine feet. The architectural plans do not indicate which units will have taller garage doors. Since these are considered principal buildings, code section 17.06 3. C. regarding non-uniform height of garage doors on accessory buildings does not apply. Materials on the building will consist of two-color insulated metal panels; translucent panels (skylight), cable railing for balcony, frosted glass overhead doors and a metal roofing panel. The metal panel colors are ascot white and dove gray as shown on the architectural plans.

Plan of Operation

The proposed units are to be custom built motorsport storage units for vehicles, boats and motorhomes. There are no plans to lease the units. Hours of operation are proposed to be 24-hour, 7-days a week access for condominium owners by keypad and/or key fob. Secured gated grounds with video monitoring at the entrance and common areas. Ability to secure individual condominium units with a personal security system. No businesses will be allowed to be run out of the units, no overnight sleeping, no outside storage, and all fire codes will be met regarding grilling on the outside deck. They do not anticipate issues related to noise, dust, gas, smoke, toxic matter and odors, other than what is normal vehicle noises and usage. Standard automotive petroleum products will be on the site. Outdoor lighting of the facility will be controlled by a timer.

Staff Recommendation:

The applicant has provided complete information to address most elements of the site plan and plan of operation. One outstanding element is the approval of the Stormwater Management Plan by Waukesha County. Concerns raised at the May 3rd Plan Commission meeting related to the usage of the units is addressed by their plan of operation summarized above. The architect has addressed comments from the fire department (still waiting on a response from the fire department).

I recommend approval of the following plans:

- Site Plan and Site Grading Plan (as it relates to Lake County Toy Box) prepared by CJ Engineering dated 7/12/22.
- Fire Access Exhibit (as it relates to Lake County Toy Box) prepared by CJ Engineering dated 6/14/2022.
- Landscape Plan (as it relates to Lake County Toy Box) prepared by InSite Landscape Design dated 7/12/22.
- Lighting Plan (as it relates to Lake County Toy Box) prepared by InSite Landscape Design dated 7/12/22.
- Architectural Plans (as it relates to Lake County Toy Box) prepared by Galbraith, Carnahan Architects, LLC dated 7/12/22.

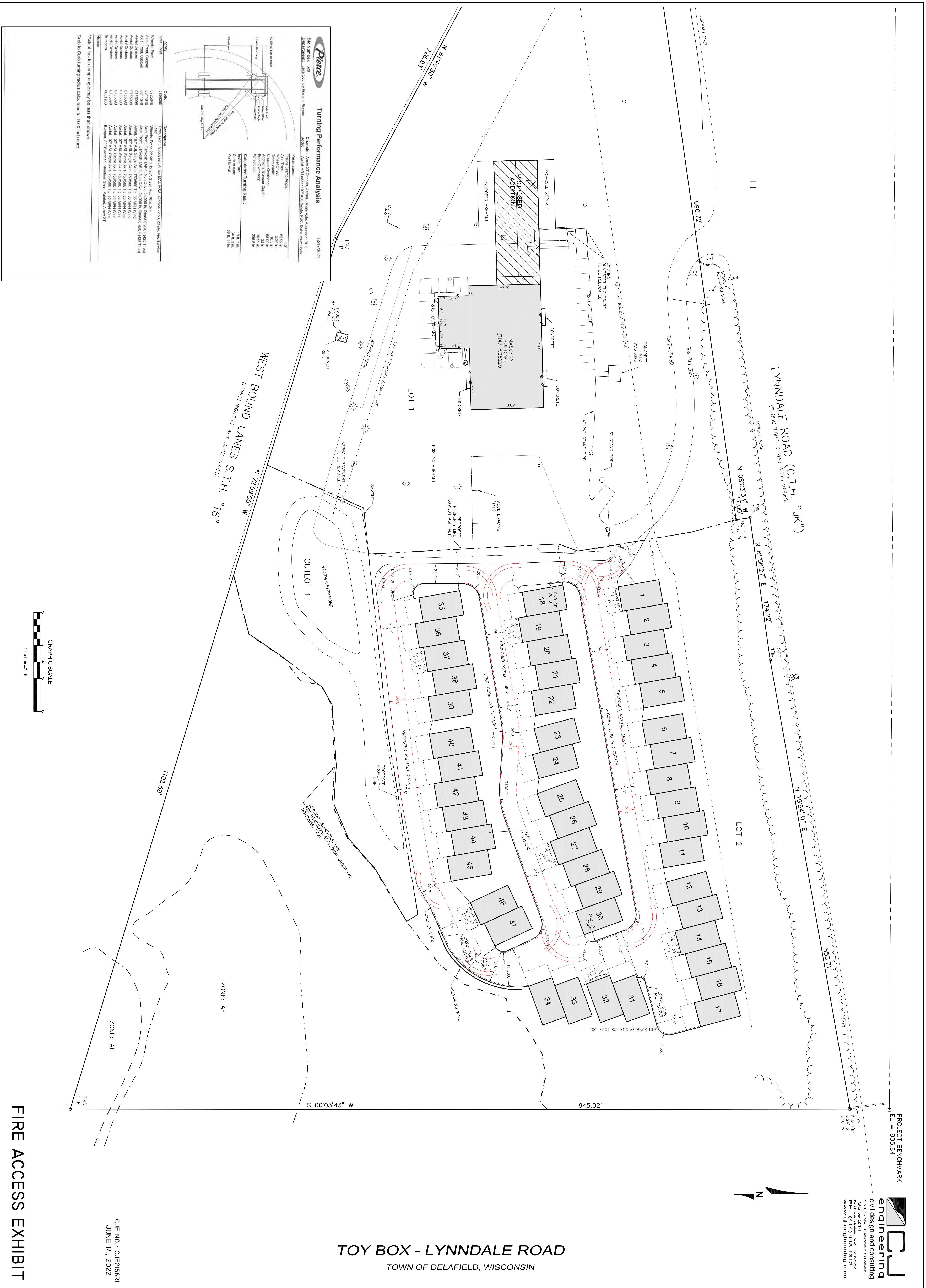
subject to resolution of the following conditions prior to any site work or issuance of a building permit at the Lake Country Toy Box site (Lot 2 and Outlot 1):

- Any condition requested by the Plan Commission at the August 2, 2022 meeting
- Approval of the stormwater management plan by Waukesha County. If the stormwater management plan review results in requiring significant changes to the site plan, the applicant must gain Plan Commission approval of the revised site plan.
- Submission and approval of a Condominium Plat and Declarations

- Staff approval and recording of a shared driveway easement agreement for access to Lot 2 and to Outlot 1
- Waukesha County approval of holding tanks at the site, holding tank agreement approval by the Town Board and submission of a bond in accordance with current Town of Delafield ordinance related to holding tanks.

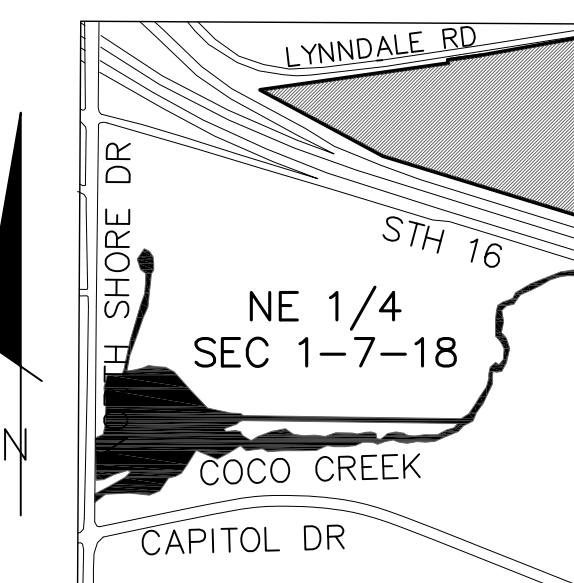
Tim Barbeau, Town Engineer
July 28, 2022





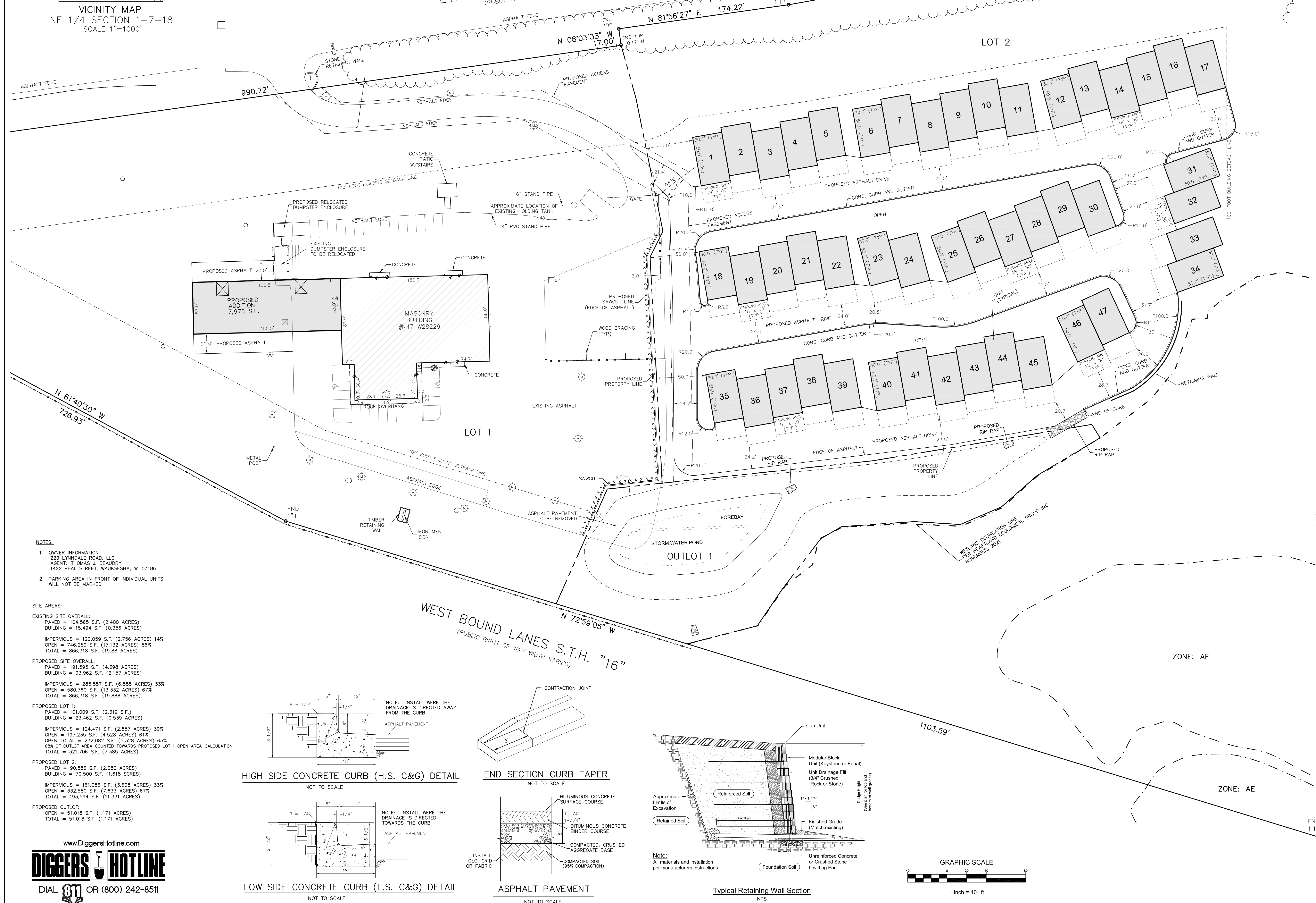
PROJECT BENCHMARK
EL = 905.64

CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com



VICINITY MAP
NE 1/4 SECTION 1-7-18
SCALE 1"=1000'

LYNNDALE ROAD (C.T.H. "JK")
(PUBLIC RIGHT OF WAY WIDTH VARIES)



NOTES:

- OWNER INFORMATION:
229 LYNNDALE ROAD, LLC
AGENT: THOMAS J. BEAUDRY
1422 PEAL STREET, WAUKESHA, WI 53186
- PARKING AREA IN FRONT OF INDIVIDUAL UNITS
WILL NOT BE MARKED

SITE AREAS:

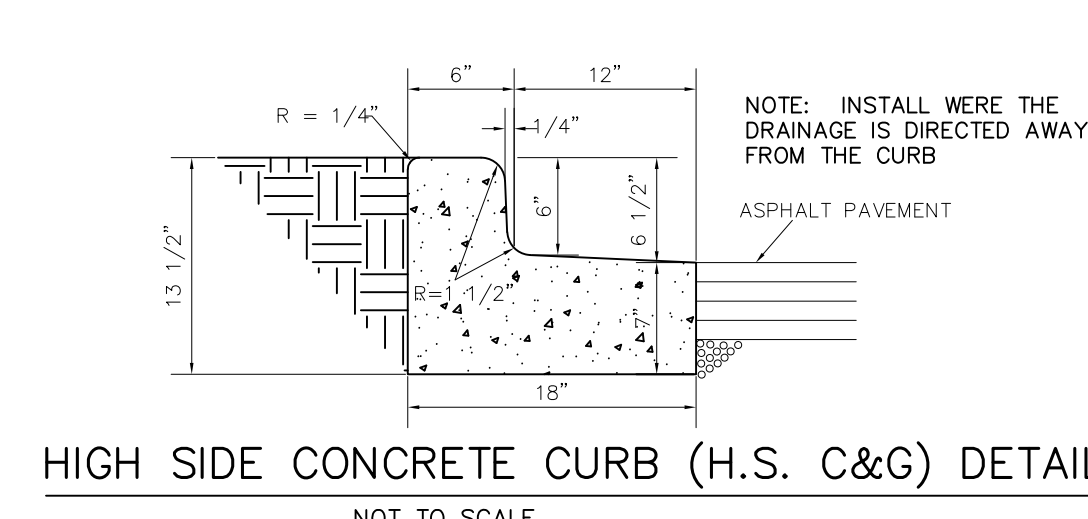
EXISTING SITE OVERALL:
PAVED = 104,565 S.F. (2,400 ACRES)
BUILDING = 15,404 S.F. (0.356 ACRES)
IMPERVIOUS = 120,069 S.F. (2,756 ACRES) 14%
OPEN = 746,259 S.F. (17,132 ACRES) 86%
TOTAL = 866,318 S.F. (19.88 ACRES)

PROPOSED SITE OVERALL:
PAVED = 191,595 S.F. (4,398 ACRES)
BUILDING = 93,962 S.F. (2,157 ACRES)
IMPERVIOUS = 285,557 S.F. (6,593 ACRES) 33%
OPEN = 580,760 S.F. (13,332 ACRES) 67%
TOTAL = 866,318 S.F. (19.88 ACRES)

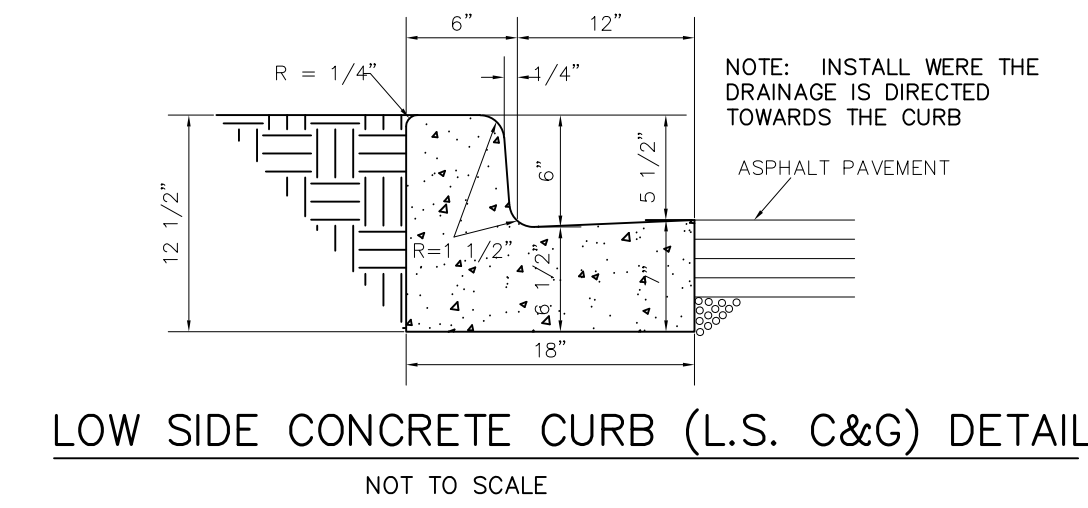
PROPOSED LOT 1:
PAVED = 101,009 S.F. (2,319 ACRES)
BUILDING = 25,462 S.F. (0.539 ACRES)
IMPERVIOUS = 124,471 S.F. (2,857 ACRES) 39%
OPEN = 197,235 S.F. (4,529 ACRES) 61%
TOTAL = 232,082 S.F. (5,328 ACRES) 65%
88% OF OUTLOT AREA COUNTED TOWARDS PROPOSED LOT 1 OPEN AREA CALCULATION
TOTAL = 321,706 S.F. (7,385 ACRES)

PROPOSED LOT 2:
PAVED = 90,586 S.F. (2,080 ACRES)
BUILDING = 70,500 S.F. (1,618 ACRES)
IMPERVIOUS = 161,086 S.F. (3,698 ACRES) 33%
OPEN = 332,560 S.F. (7,633 ACRES) 67%
TOTAL = 493,596 S.F. (11,331 ACRES)

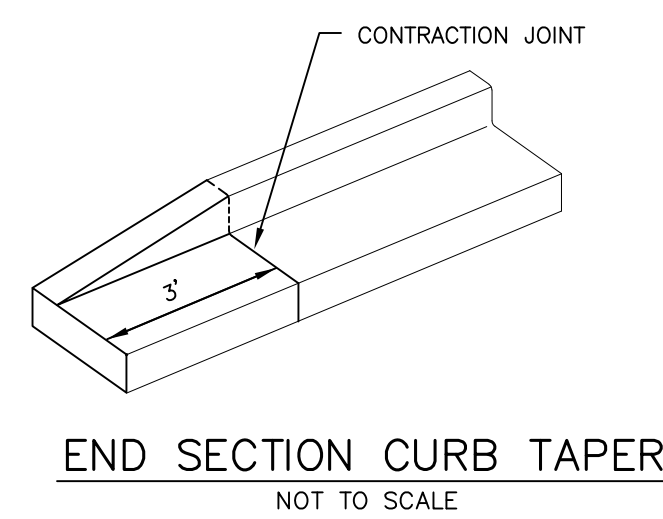
PROPOSED OUTLOT:
OPEN = 51,018 S.F. (1,171 ACRES)
TOTAL = 51,018 S.F. (1,171 ACRES)



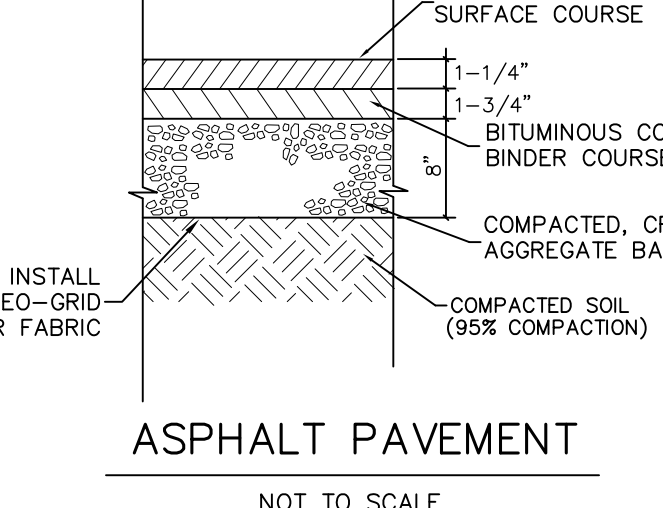
HIGH SIDE CONCRETE CURB (H.S. C&G) DETAIL
NOT TO SCALE



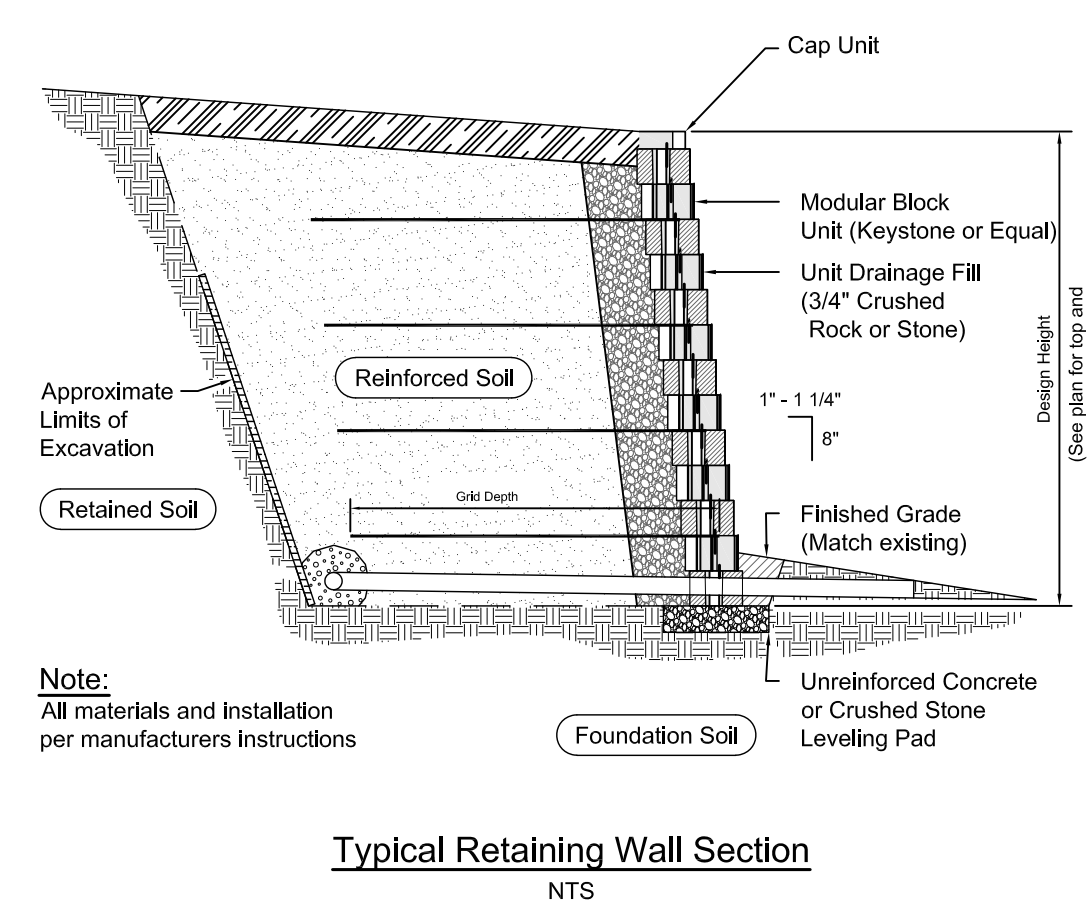
LOW SIDE CONCRETE CURB (L.S. C&G) DETAIL
NOT TO SCALE



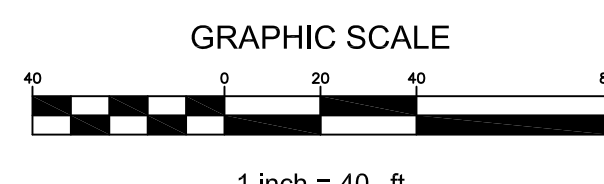
END SECTION CURB TAPER
NOT TO SCALE



ASPHALT PAVEMENT
NOT TO SCALE



Typical Retaining Wall Section
NTS



TOY BOX - LYNNDALE ROAD
TOWN OF DELAFIELD, WISCONSIN

CJE NO.: CJE2168R2
JUNE 14, 2022
REV.: 07/12/2022

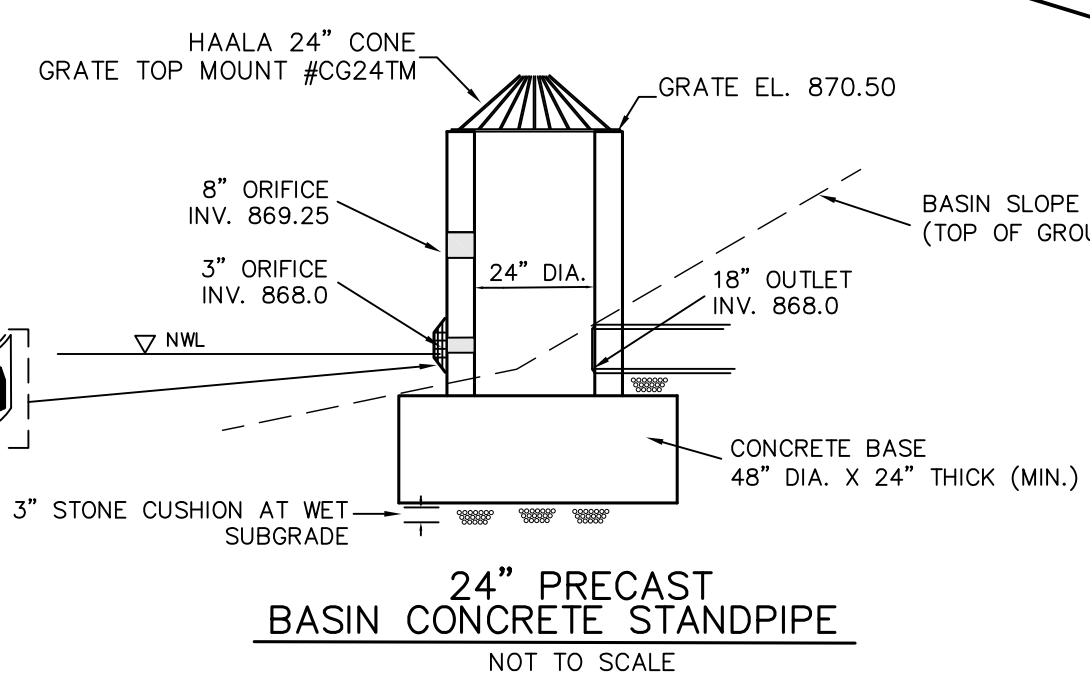
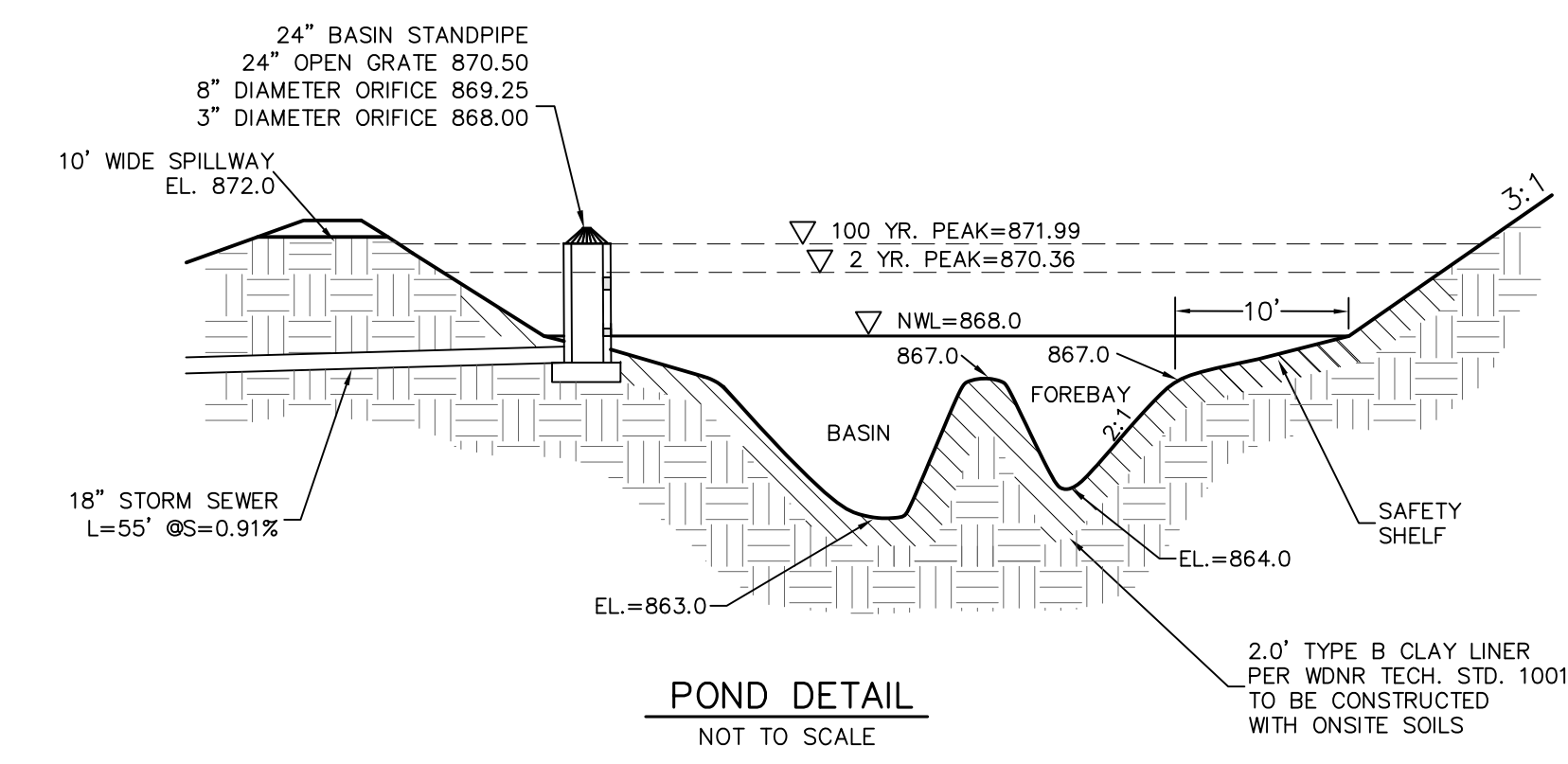
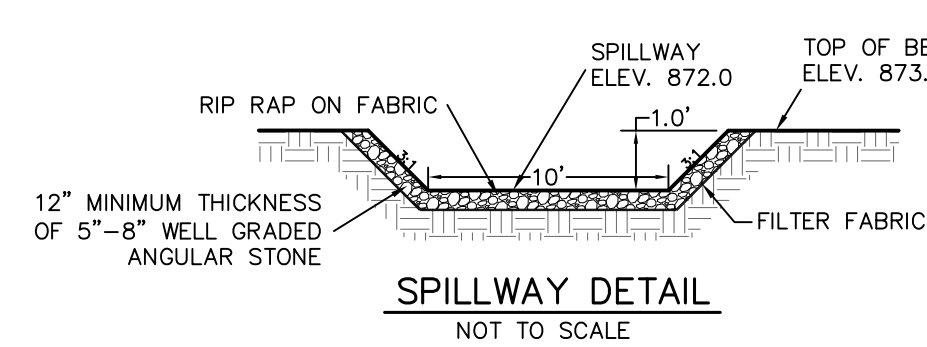
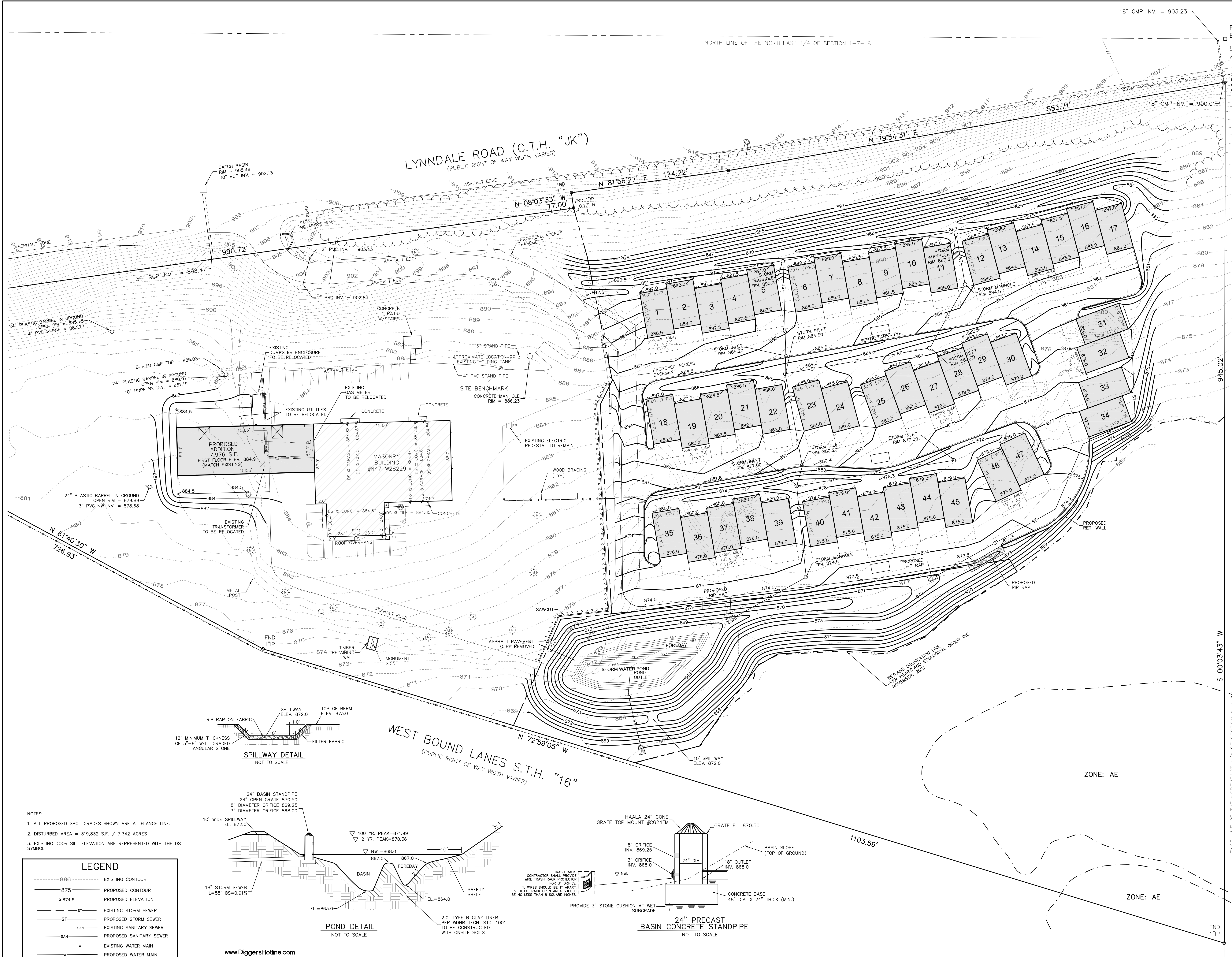
SITE PLAN C1.0

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DIAL 811 OR (800) 242-8511

NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 1-7-18

PROJECT BENCHMARK
EL = 905.64
THE NE COR. OF THE NE
1/4 OF SEC. 1-7-18
FND CONC. MON.
W/ BRASS CAP

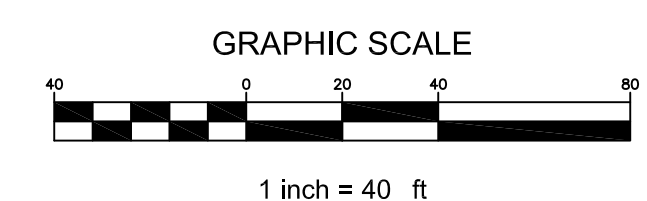
CJ
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Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com



- NOTES:
1. ALL PROPOSED SPOT GRADES SHOWN ARE AT FLANGE LINE.
 2. DISTURBED AREA = 319,832 S.F. / 7.342 ACRES
 3. EXISTING DOOR SILL ELEVATION ARE REPRESENTED WITH THE DS SYMBOL

LEGEND	
886	EXISTING CONTOUR
875	PROPOSED CONTOUR
x 874.5	PROPOSED ELEVATION
ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
SAN	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
W	EXISTING WATER MAIN
W	PROPOSED WATER MAIN
G	BURIED GAS MAIN
W	OVER HEAD WIRE
E	BURIED ELECTRIC
PE	ELECTRIC PEDESTAL
ML	METAL LIGHT POLE

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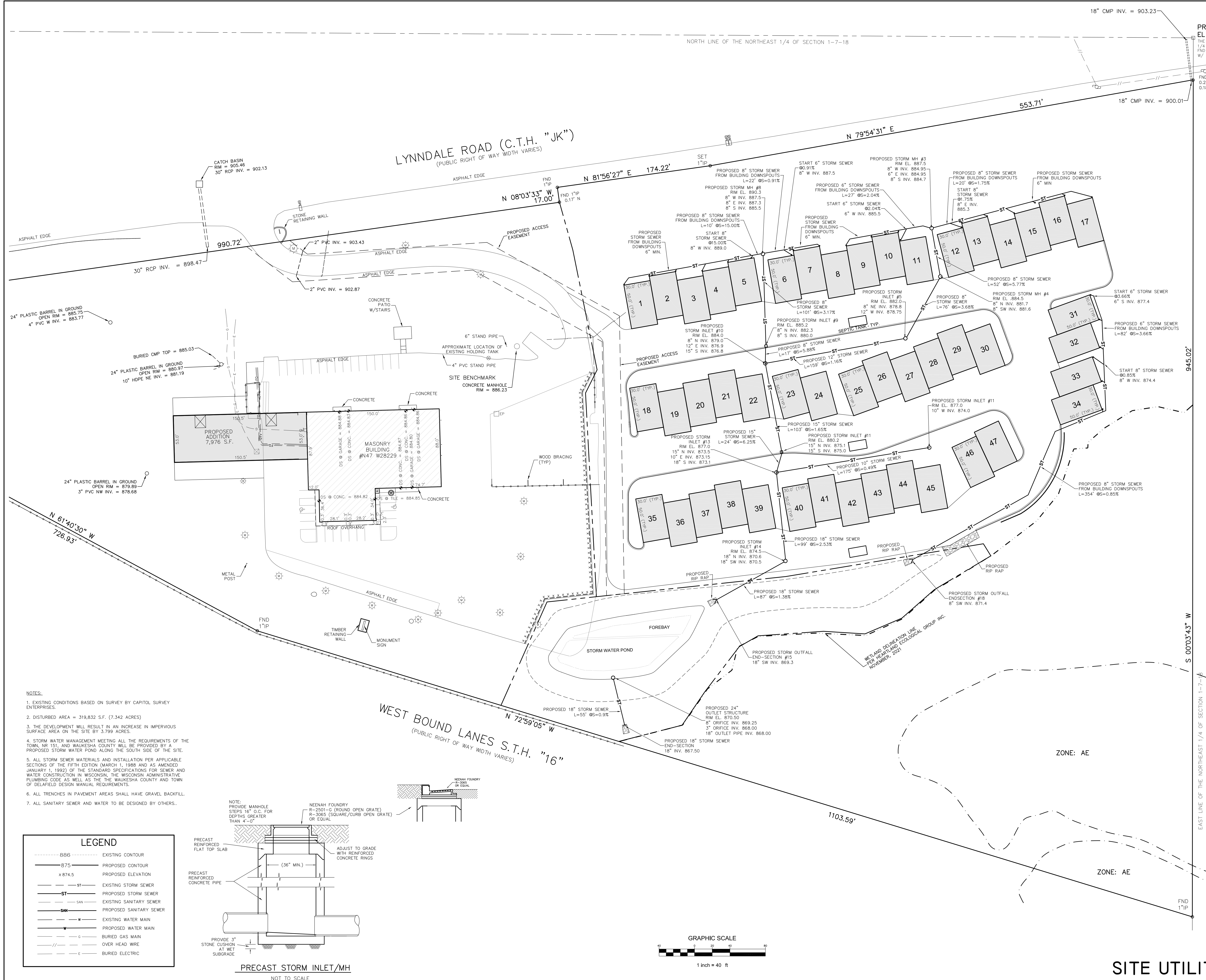
ZONE: AE

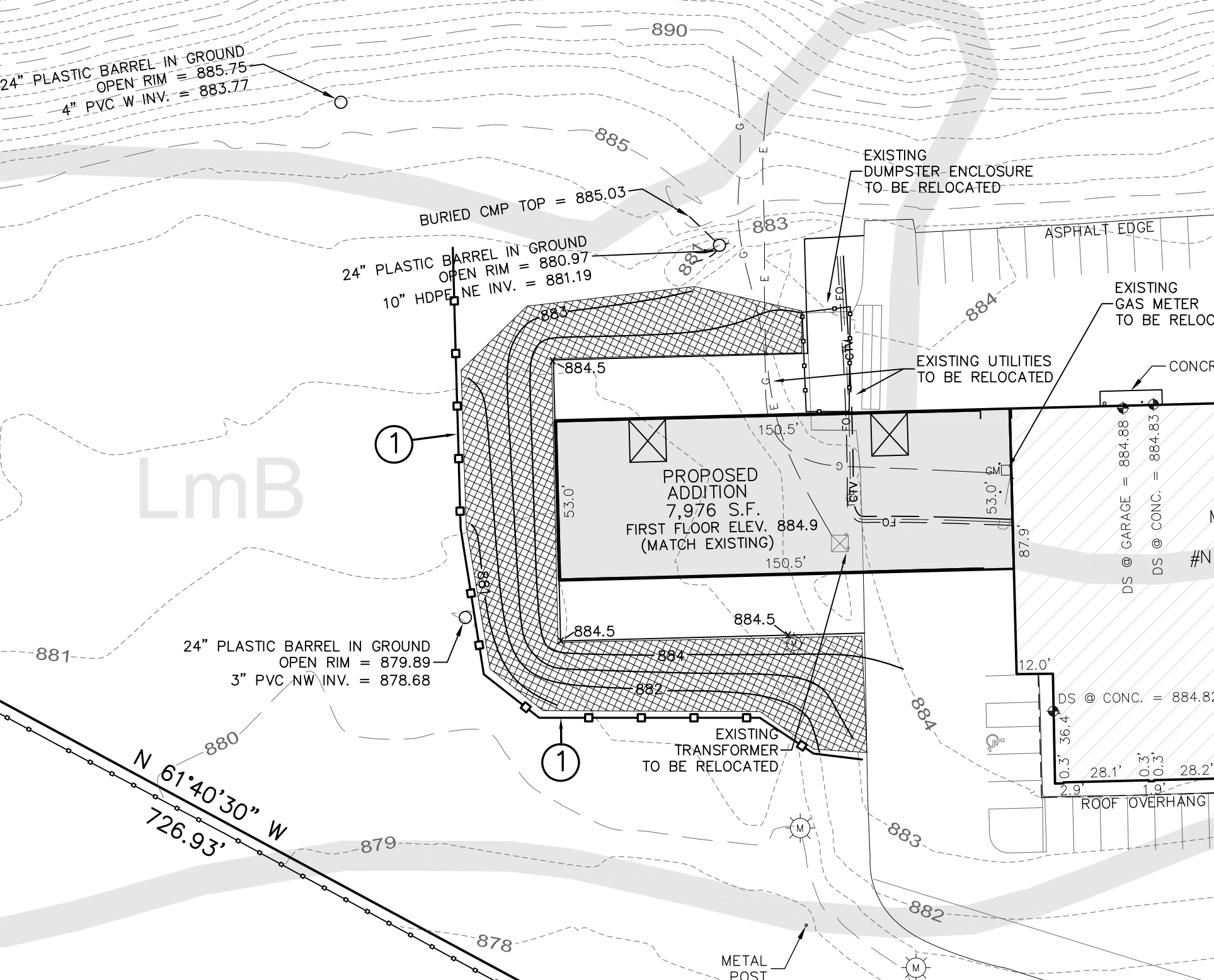
ZONE: AE

TOY BOX - LYNNDALE ROAD
TOWN OF DELAFIELD, WISCONSIN

CJE NO.: CJE2168R2
JUNE 14, 2022
REV.: 07/12/2022

SITE GRADING PLAN **C2.0**





THE PROPOSED TO BOX DEVELOPMENT CONSISTS OF 70,500 S.F. OF PROPOSED BUILDINGS WITH PAVED ACCESS PARKING ON LOT 2 AND A 7,976 S.F. BUILDING ADDITION ON LOT 1 LOCATED IN THE TOWN OF DELAFIELD ALONG LYNNDALE ROAD. THE PROPOSED TO BOX DEVELOPMENT WILL BE BUILT ON A SITE WHICH DRAINS FROM NORTH TO SOUTH AND WILL BE SERVED BY THE PROPOSED 12' WIDE DRIVEWAY AND DRIVEWAY ADJACENT TO THE DRIVEWAY. THE ENTIRE SLOPE OF THE SUBJECT PARCEL HAS THE TYPICAL EXISTING SLOPE OF 4%. THE PROPOSED SITE WILL HAVE A TYPICAL SLOPE OF 2-5% LOCALIZED EROSION CONTROL MEASURES WILL BE IMPLEMENTED TO PROTECT DOWNSTREAM WATER RESOURCES. IN ORDER TO PROTECT DOWNSTREAM WATER RESOURCES, A MASS GRADING AND CONSTRUCTION OF LOT 2 WATER RESOURCES IT HAS BEEN PROPOSED THAT THE PROPOSED BASIN BE INSTALLED PRIOR TO BEGIN OF ANY MASS GRADING OR CONSTRUCTION ON LOT 2.

NOTES:

1. ALL PROPOSED SPOT GRADES SHOWN ARE AT FLANGE LINE.
2. DISTURBED AREA = 319,832 S.F. / 7.342 ACRES
3. EXISTING DOOR SILL ELEVATION ARE REPRESENTED WITH THE DS SYMBOL
4. TOP SOIL STOCK PILE TO BE LOCATED AT LOCATION OF BUILDINGS
35-39. TOP SOIL STOCK PILE TO BE REMOVED PRIOR TO CONSTRUCTION OF
PROPOSED BUILDINGS 35-39.

TEMPORARY SEEDING:
DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING
(COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE
CONSTRUCTION.

LAND APPLICATION OF ADDITIVES:

DURING WORKING SEASON (NOVEMBER 1 – MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYCARYLAMIDE (PAM) PER LATEST WDOT PL (UPDATED 11/2/2017) – SEE WORK TECHNICAL/STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

PRESCRIPTIVE COMPLIANCE AREAS:

PER WSDOT H-11 MS-404 CODE

MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)
LAND DISTURBANCE BETWEEN SEPT. 15TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 1ST AND SEPT. 15TH

TEMPORARY COVER
DURING GROWING SEASON:
TEMPORARY SEEDING DATE:

OATS - 4/1-9/1
ANNUAL RYEGRASS - 4/1-9/1
WINTER WHEAT - 8/1-10/1
WINTER CEREAL RYE - 8/1-10/15
(FOR TEMPORARY COVER SEED AT 131# PER ACRES)

DURING NON-GROWING SEASON (AFTER OCT. 15TH SEEDING DEADLINE):

AREAS THAT ARE INACTIVE DURING NON-GROWING SEASON MUST BE STABILIZED WITH ANIONIC POLYACRYLAMIDE (POLYMER). SEE WDNR TECHNICAL STANDARD 1050.

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. INSTALL CONSTRUCTION EXITS.
3. INSTALL SIGNAGE AND SITE PERMITS SHOWN ON THE PLAN.
4. INSTALL STORM WATER BASIN WITH OUTLET STRUCTURE. STORM WATER BASIN TO ACT AS SEDIMENT BASIN DURING CONSTRUCTION.
5. MAINTAIN SLOUGH GRASS REMAINING SITE.
6. INSTALL DITCH CHECKS.
7. BEGIN BUILDING CONSTRUCTION.
8. INSTALL PROPOSED UTILITIES.
9. INSTALL INLET PROTECTION IN ALL NEW INLETS.
10. INSTALL OUTLET PROTECTION FOR ALL STORM END SECTIONS.
11. INSTALL BASE COURSE OF PAVEMENT.
12. FINAL GRADE SLOPES AND TOPSOIL. CRITICAL SLOPES, VEGETATE AND DISTURBANCE DISCONTINUE.
13. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
14. A MAINTENANCE PLAN WILL REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY $\frac{1}{2}$ " RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.

2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

- ① SILT FENCE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ OUTLET PROTECTION
- ⑤ EROSION MATTING
- ⑥ SEDIMENT LOG DITCH CHECK
- ⑦ DEWATERING PIT

FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER 'WSDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, OUTLOT BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

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GRAPHIC SCALE

1 inch = 40 ft

SITE EROSION CONTROL PLAN C4.0

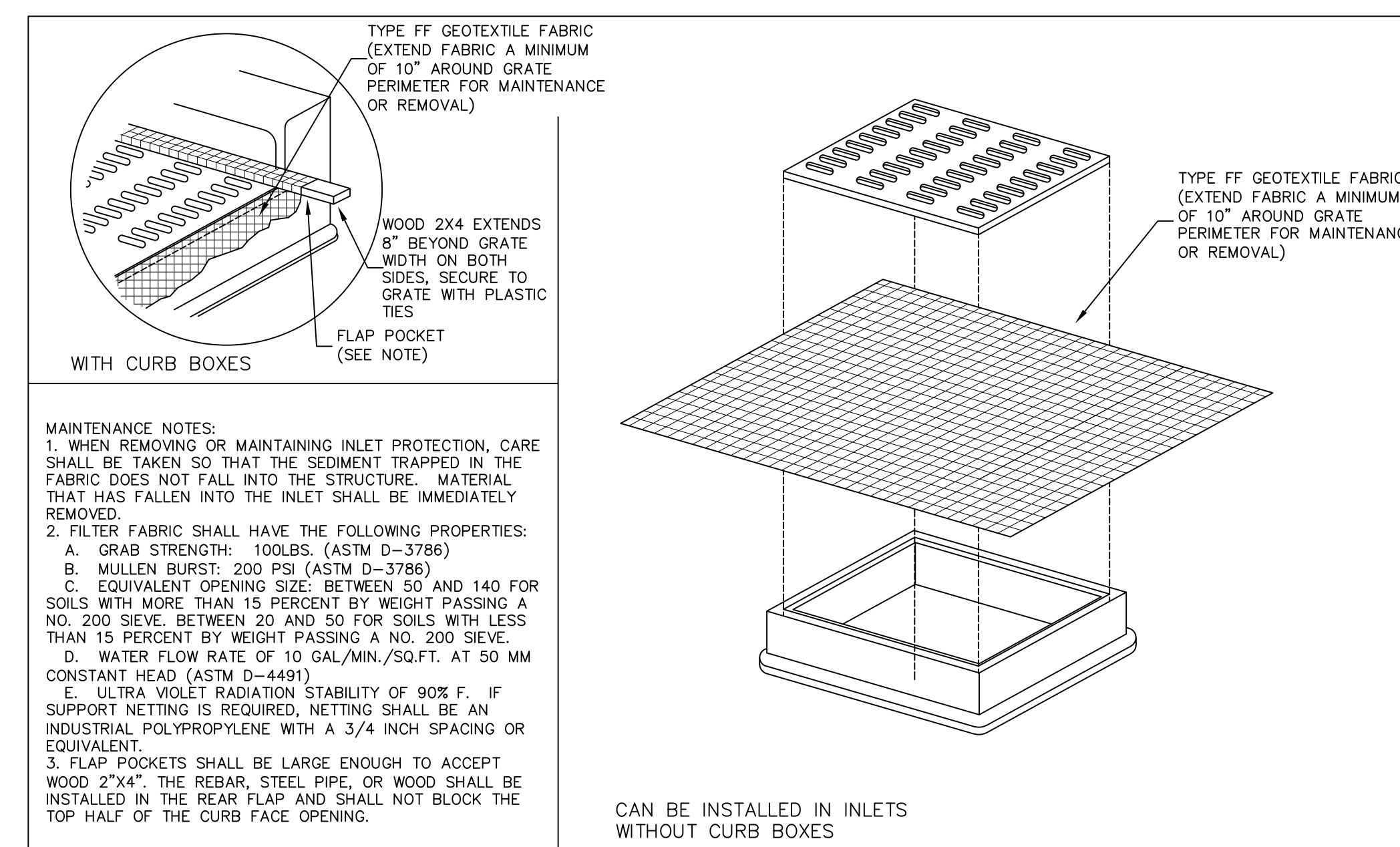
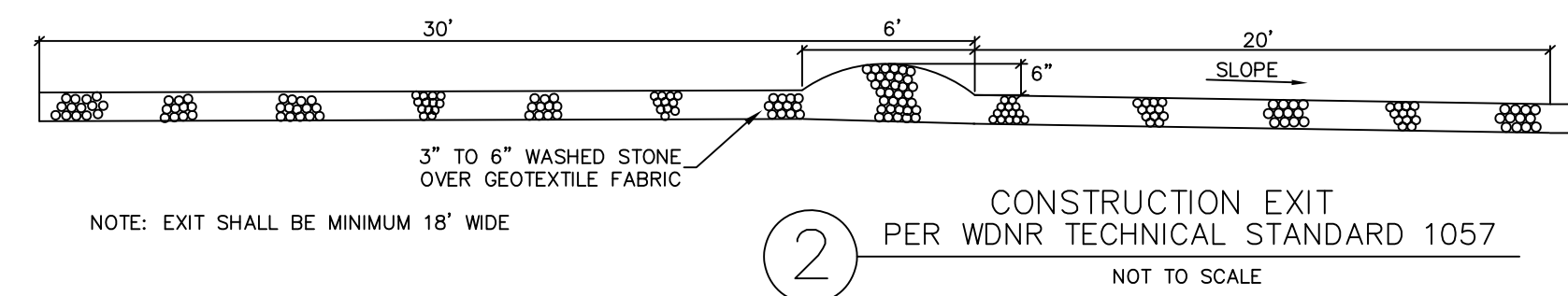
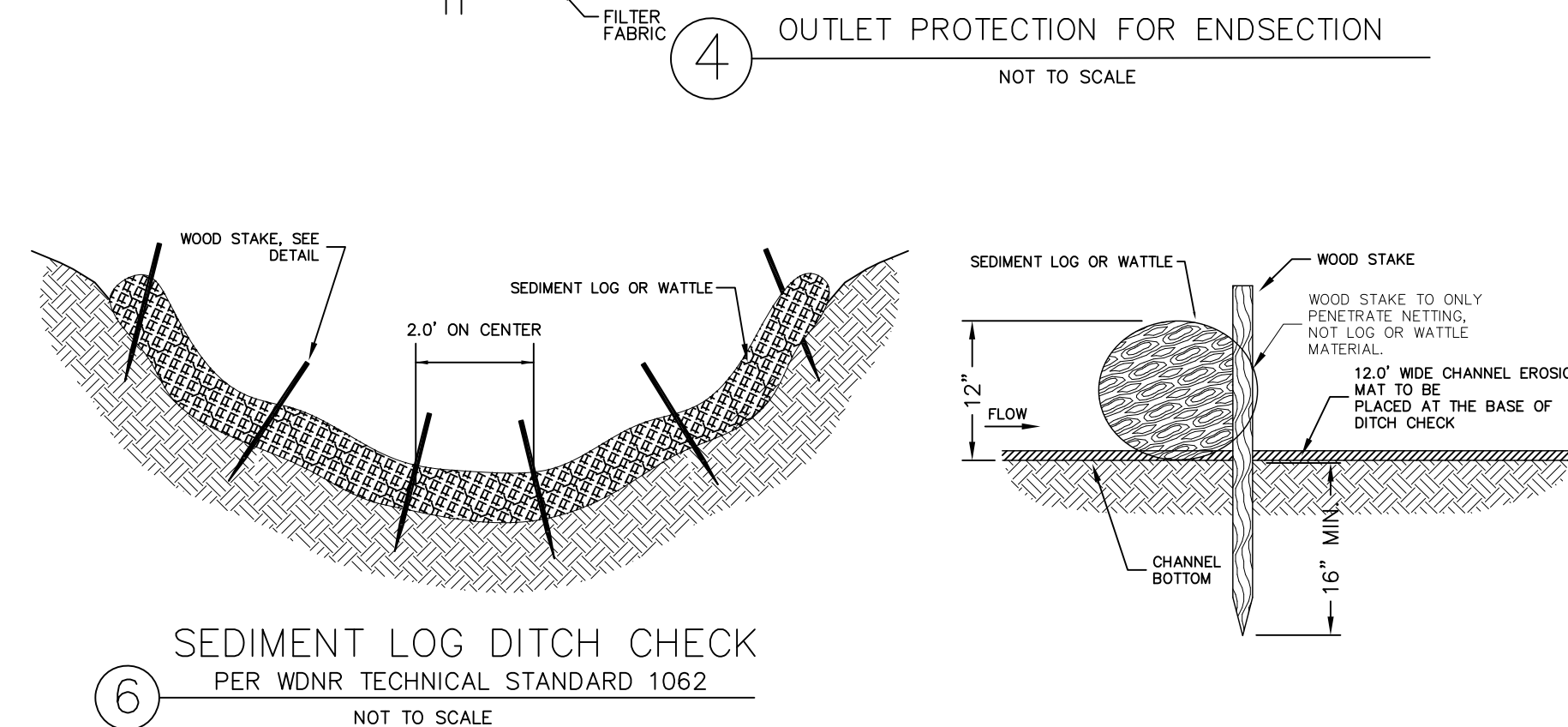
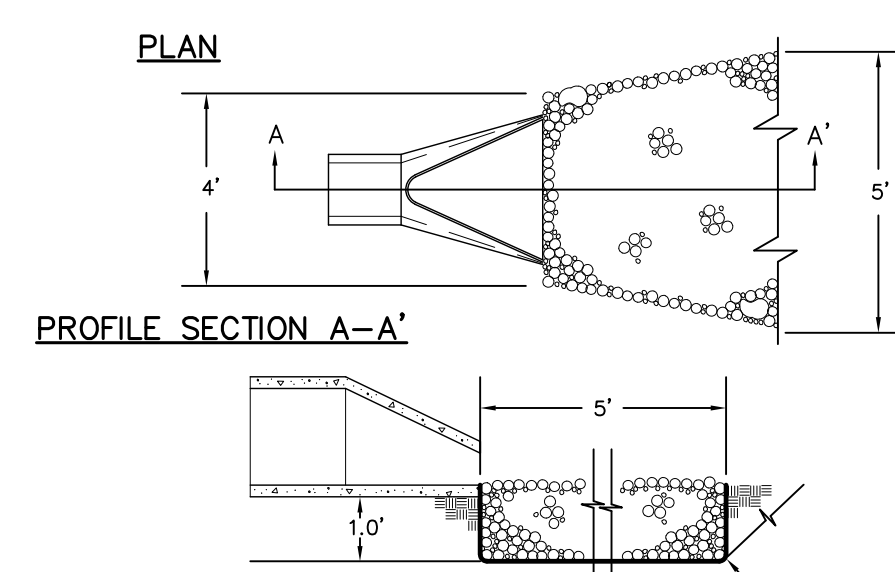
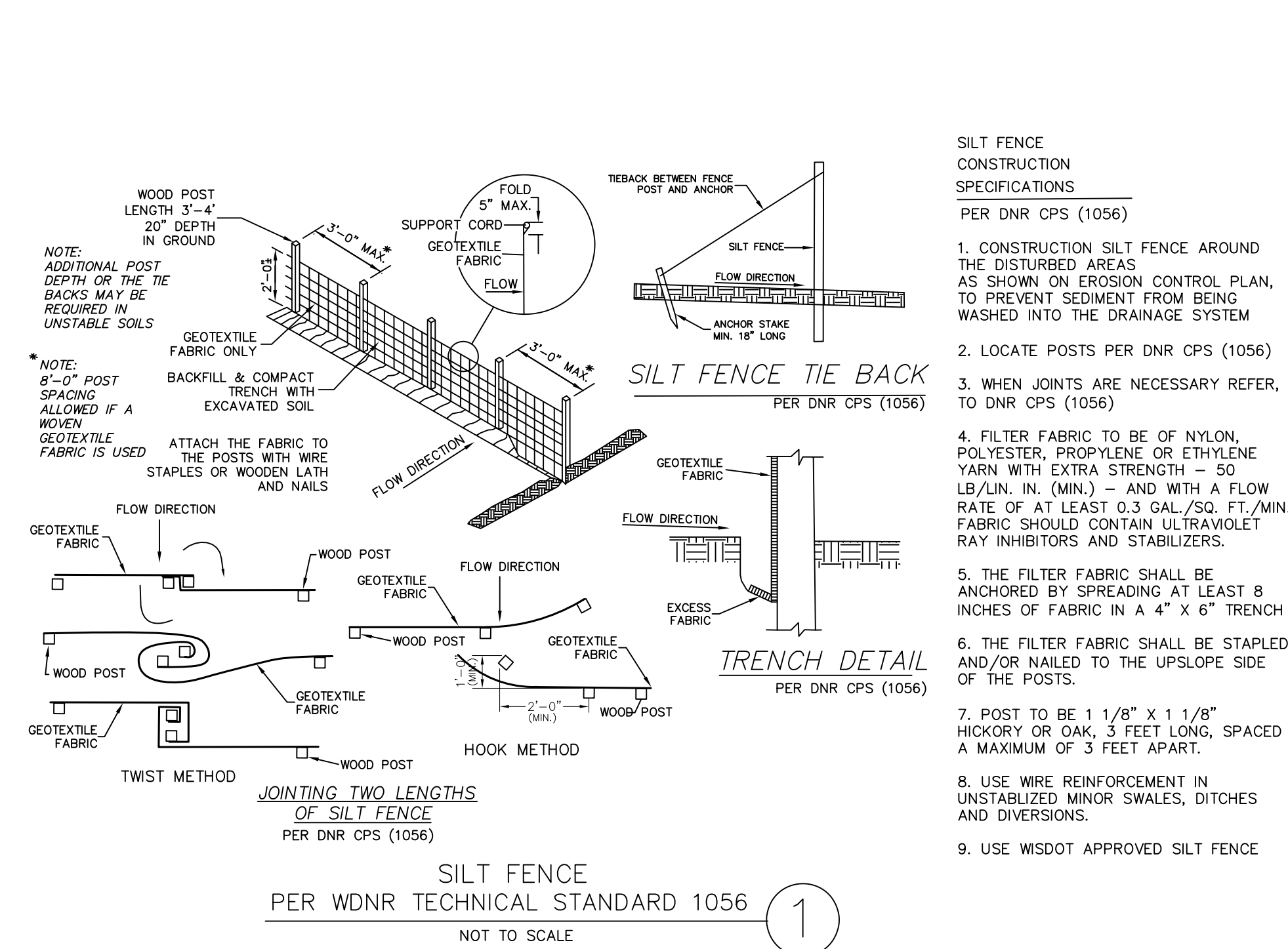
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CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com

TOY BOX - LYNDALE ROAD
TOWN OF DELAFIELD, WISCONSIN

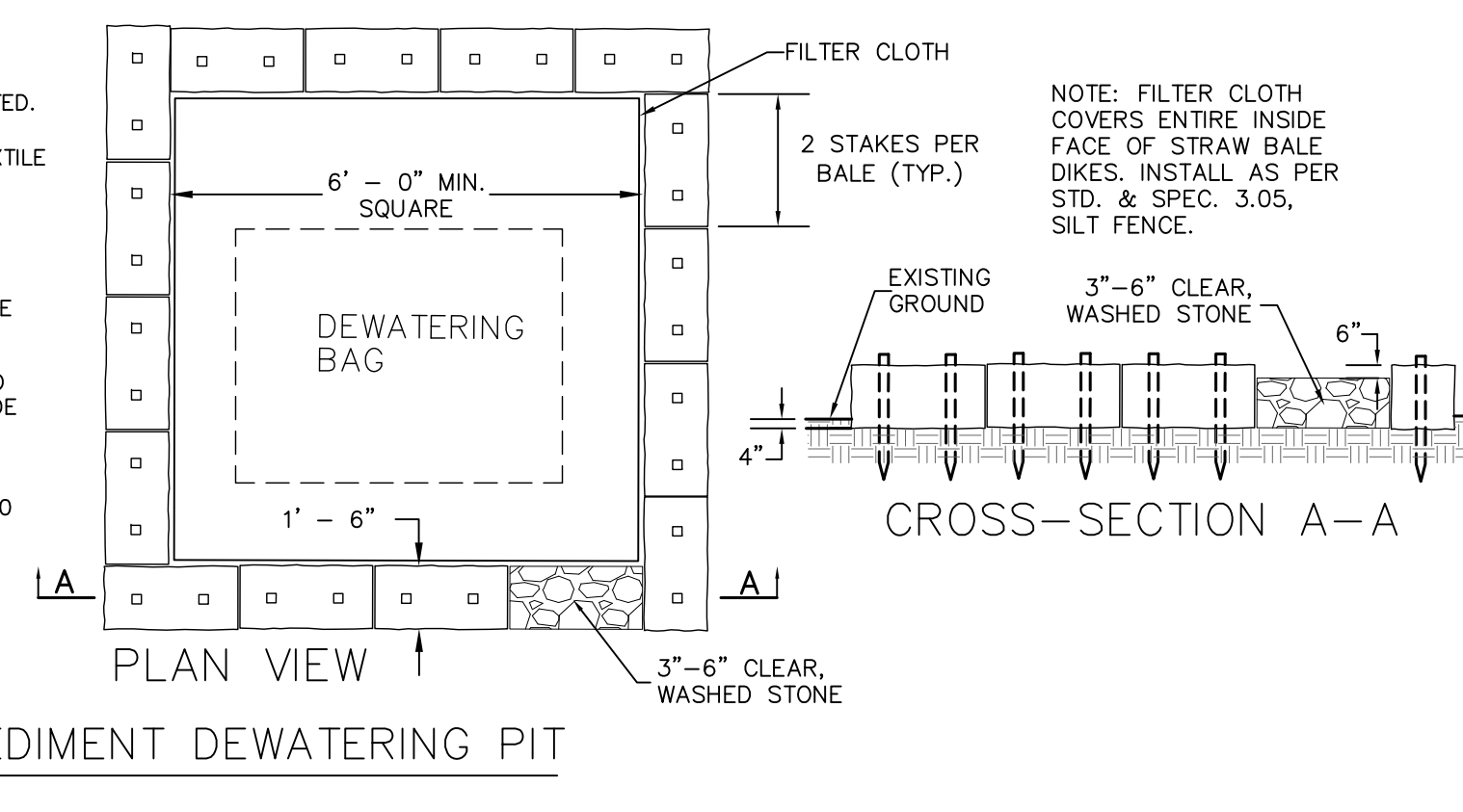
CJE NO.: CJE2168R2
JUNE 14, 2022
REV.: 07/12/2022



SITE DEWATERING

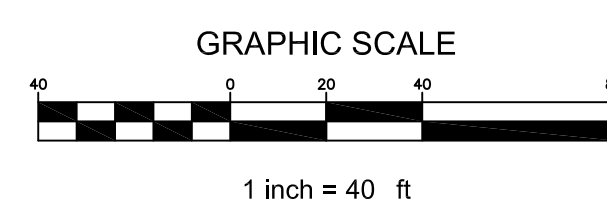
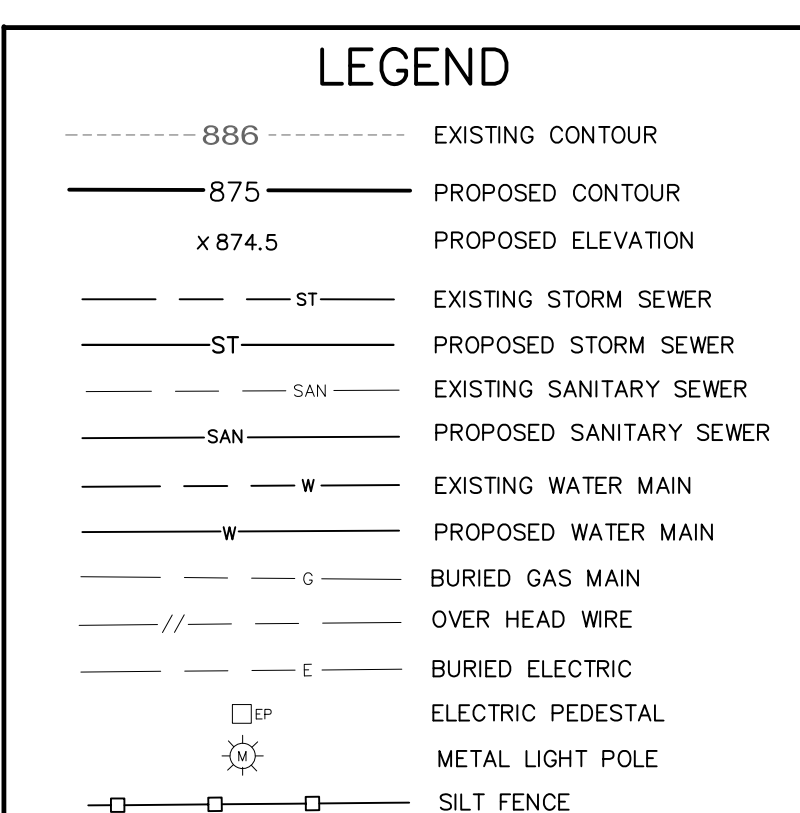
DEWATERING TO CONFORM WITH WDNR CONSERVATION PRACTICE STANDARD 1061. THE SITE HAS HIGH GROUND WATER SO DEWATERING IS ANTICIPATED. ALL PUMPED EFFLUENT FROM DEWATERING OPERATIONS (TRENCH DEWATERING OR OTHERWISE) SHALL BE DISCHARGED TO A GEOTEXTILE FILTER BAG CONFORMING TO WDNR CONSERVATION PRACTICE STANDARD 1061. THE GEOTEXTILE BAG SHALL BE PLACED ON A VEGETATED/STABILIZED GROUND AND DISCHARGE TO A SEDIMENT BASIN OR TRAP. SHOULD NO BASIN EXIST, THE GEOTEXTILE BAG SHALL BE PLACED ON FILTER FABRIC AND SURROUNDED BY A SEDIMENT BALE BARRIER CONFORMING TO CONSERVATION PRACTICE STANDARD 1062. THE FILTER FABRIC SHALL BE BROUGHT UP THE SIDES AND OVER THE TOP OF THE HAY BALES AND SECURED. DISCHARGE SHALL NOT BE ALLOWED TO FLOW OVER UNPROTECTED GROUND. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS PRIOR TO SEDIMENT REMOVAL.

PER WDNR WPDES GENERAL PERMIT, CONSTRUCTION SITE STORM WATER RUNOFF (WDNR) TRENCH DEWATERING MAY NOT EXCEED 70 GPM.



NOTES:

1. ALL PROPOSED SPOT GRADES SHOWN ARE AT FLANGE LINE.
2. DISTURBED AREA = 319,832 S.F. / 7.342 ACRES
3. EXISTING DOOR SILL ELEVATION ARE REPRESENTED WITH THE DS SYMBOL



Toy Box
**TWO-PARTY PRIVATE
 DRIVEWAY EASEMENT AGREEMENT**

Document Number

Document Title

THIS AGREEMENT made this ____ day of _____,
 20____, by and between _____
 (hereinafter _____) and _____
 (hereinafter _____).

RECITALS

WHEREAS, _____ is the owner of
 the real estate located in Waukesha County, Wisconsin, described as Tax
 Key Parcel No. _____ (hereinafter "Lot 1"); and

WHEREAS, _____ is the owner of the real
 estate located in Waukesha County, Wisconsin, described as Tax Key
 Parcel No. _____ (hereinafter "Lot 2"); and

WHEREAS, the legal description for the parcel (Lot 2) on which
 the easement is located, is as follows:

Lot 2 of CSM_____ Being a part of the Northwest and Northeast ¼ of the Northeast ¼ of Section 1, Town 7 North,
 Range 18 East, in the Town of Delafield, Waukesha County, Wisconsin

WHEREAS, it will be necessary for Lot 2 to have a permanent easement for driveway and utility
 installation purposes over a portion of Lot 1; and

WHEREAS, _____ wishes to grant to _____
 a perpetual easement over a portion of Lot 1 for ingress and egress for pedestrian and vehicular use of the driveway
 and for installation of all utilities necessary to service Lot 2. _____ further wishes
 to grant to all pertinent utility companies a perpetual easement to install all utilities necessary to service Lot 1 and
 Lot 2.

NOW, THEREFORE, in consideration of the above recitals and other good and valuable consideration, the
 receipt and sufficiency of which is hereby acknowledged, it is hereby agreed as follows:

1. Grant of Easement. _____ grants to _____, their heirs,
 executors, successors and assigns a perpetual easement for ingress and egress for driveway and utility installation
 purposes, and further grants to all pertinent utility companies, there successors and assigns, a perpetual easement to
 install all utilities necessary to service Lot 1 and Lot 2, across a portion of Lot 1 and Lot 2 located in Waukesha
 County, Wisconsin, the easement of which is more particularly described as follows:

Recording Area

Name and Return Address

Town of Delafield
 N14 W30782 Golf Road
 Delafield, WI 53018-2117

Parcel Identification Number (PIN)

Commencing at the Northeast Corner of Lot 1 of CSM_____ ; the S80°43'13"W 307.53 feet along the north lot line of Lot 1; To the point of the beginning of the easement to be described; Thence S53°38'19"E 25.22 feet; Thence N85°02'54"E 203.02 feet; Thence S62°13'46"E 171.05 feet; Thence S02°12'54"E 313.79 feet; Thence S82°42'14"W 20.08 feet; Thence N02°12'54"W 286.70 feet; Thence N62°13'46"W 166.85 feet; Thence S85°02'54"W 204.02 feet; Thence N53°38'19"W 65.28 feet; Thence N80°43'14"E 49.06 feet along the north line of the Lot 1 to the point of beginning.

Easement Containing: 19,641 s.f. (0.451 Acres)

The easement granted in this paragraph is hereby referred to as the "Easement".

2. Purpose. The purpose of this Easement is to allow the owners of Lot 1 and Lot 2, their respective heirs, successors, executors, assigns, visitors and licensees the right to use the driveway for pedestrian and vehicular access (as is consistent with a residential driveway) and for utility installation, and for all pertinent utility companies to install all utilities necessary to service Lot 1 and Lot 2.

3. Access. The owners of Lot 1, the owners of Lot 2, Waukehsa County and Town of Delafield staff , their respective heirs, successors, executors, assigns, visitors and licensees shall have the right to enter the driveway for the purpose of exercising their rights in the Easement area consistent with the purpose of the Easement and that no one shall take any action, the effect of which would be to deny any beneficiary of the Easement access to the Easement or its use for the purposes set forth herein.

4. The owners of Lot 1 and Lot 2 shall each maintain common portion of the driveway and share costs of construction and maintenance for respective easement portions located on Lot 1 and Lot 2.

5. Arbitration (optional). Any disagreement between the owners of Lot 1 and Lot 2 with respect to the maintenance of the driveway or any provision of this Agreement or any Amendment thereof shall be submitted to arbitration for final resolution. All arbitration shall be conducted in accordance with the Arbitration Rules of the American Arbitration Association (for Milwaukee, Wisconsin) and any decision or more of the arbitrators, the award resulting from said arbitration shall be binding, and except in cases of gross fraud or misconduct by one or decision or award rendered with respect to the disagreement shall not be appealable. In reaching their decision, the arbitrators shall have no authority to change or modify any provision of this Agreement. The owners of Lot 1 and Lot 2 shall each pay 50% of the cost of any such arbitration and the duty to arbitrate shall survive the cancellation or termination of this Agreement.

6. Duration. The easements, covenants, restrictions and other provisions of this Agreement shall be of perpetual duration and shall constitute easements, restrictions and covenants running with the land and shall inure to the benefit of, and be binding upon, the parties hereto and their respective heirs, executors, successors and assigns, including, without limitation, all subsequent owners of Lot 1 and Lot 2 and all persons claiming under or through them.

7. Insurance (optional). The owners of Lot 1 and Lot 2 shall each maintain public liability insurance on their respective parcels which insurance shall name the abutting owner as an additional insured and shall insure against any claim made for injury to person or property attributable to an owner's use and enjoyment of the Easement. Without limiting the required insurance coverage, it is the agreement of the owners that each owner is not responsible for the acts or omissions of the other owner in regard to the use and maintenance of the Easement. Each owner indemnifies and hold harmless the other as to the owner's acts and omissions in the use and enjoyment of the Easement. Each owner, to the extent of insurance coverage, waives any right as against the other to assert any claim arising from any deficiency in the maintenance of the Easement.

8. Entire Agreement. This Agreement supersedes all agreements previously made between the parties hereto relating to the subject matter hereof and this Agreement cannot be modified, amended or terminated except as agreed to in writing by the then owners of Lot 1 and Lot 2, their mortgagees and other holders of record interest as of the date of such amendment.

9. Non-waiver. No delay or failure by any party to exercise any right under this Agreement and no partial or single exercise of that right shall constitute a waiver of that or any other right, unless otherwise expressly provided herein.

10. Article and Paragraph Headings. Article and paragraph headings in this Agreement are for convenience only and shall not be used to interpret or construe its provisions.

11. Exhibits. All of the exhibits attached hereto are hereby incorporated herein and made a part of this Agreement by reference.

See Exhibit A

12. Counterparts. This Agreement may be executed simultaneously in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

13. Governing Law. This Agreement shall be construed in accordance with and governed by the laws of the State of Wisconsin.

IN WITNESS WHEREOF, the parties hereto have signed and executed this Agreement as of the day and year first written above.

Let copies of this order be filed in the permanent records of the Town Board of the Town of Delafield, let a copy of this permit be recorded at the Waukesha County Register of Deeds as a covenant on the title for the premises for which this Conditional Use is granted, and let copies be sent to the proper Town authorities and the grantee.

Approved this _____ day of _____, 20____.

By: _____

By: _____

Owner(s) of Lot 1

Owner(s) of Lot 2

Personally came before me this _____ day of _____, 20____, the above named person, to me know to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public State of Wisconsin

My Commission Expires:_____

Personally came before me this _____ day of _____, 20____, the above named person, to me know to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public State of Wisconsin

My Commission Expires:_____

Drafted by: CJ Engineering LLC

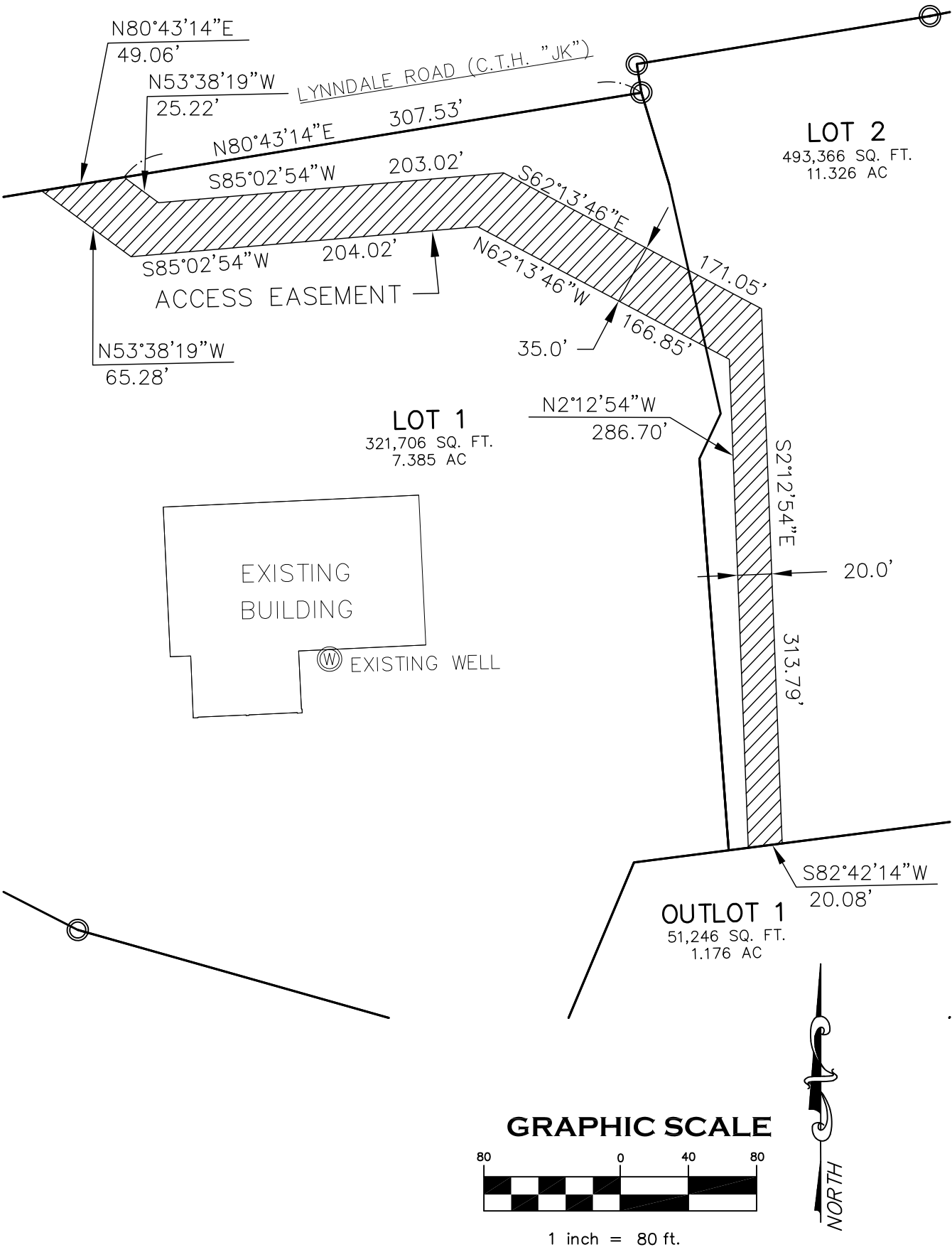
EXHIBIT A

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN



civil design and consulting
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Milwaukee, WI 53222
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July 27th, 2022

Deputy Chief Tony Wasielewski
Community Risk Reduction Chief
Lake Country Fire & Rescue

Re: Lake Country Toy Boxes, Plan Commission Submittal

Dear Mr. Wasielewski,

Please see below our responses to the concerns that you and Chief Heltemes expressed via e-mail on July 7, 2022 regarding the above project.

1. Any group of buildings over 12,000 square feet will need to be sprinklered.
RESPONSE: The individual buildings are not over 12,000sf. Largest building is 9,000sf.
2. Between each condo unit will need a fire wall from lowest level to the roof.
RESPONSE: We plan to install a metal stud and type X drywall fire partition between condo units, from floor slab to roof deck. Final layout To Be Determined, as some condo owners may combine multiple bays.
3. What is the distance between groups of buildings? Because there are minimum requirements based on building construction, sprinklered, etc.
RESPONSE: We will have 10' minimum between buildings.
4. Concerned with the plumbing and electrical in each condo unit since they are storage only units. In my past, I have seen businesses, sleeping quarters or unsafe personal work being done in units equipped with electrical and plumbing utilities and none of this was reported to the municipality, fire department or building inspector.
RESPONSE: See Plan of Operation, condo docs.
5. Personal storage units are exterior inspected only by the fire department after they occupy, which the above can happen very easily with no one knowing.
RESPONSE: See Plan of Operation, condo docs.
6. What is the square footage of the proposed addition to the main building and the its use?
RESPONSE: SF is 7,860. The use is as an Automobile/Boat Showroom.

Sincerely,

Joe Galbraith
partner

InSITE
LANDSCAPE DESIGN

Landscape Consulting
& Master Planning Design Services

11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:

LAKE COUNTRY
TOY BOXES

Lyndale Avenue
Delafield, WI

Issuance and Revisions:		
Date	Number	Description
06/10/22		Client Review Submittal
07/12/22		Plan Commission Submittal/Revisions Base on Engineering Review

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Sheet Title:

PROPOSED OVERALL
LANDSCAPE PLAN
AND GENERAL NOTES

Date of Drawing: 07/12/22

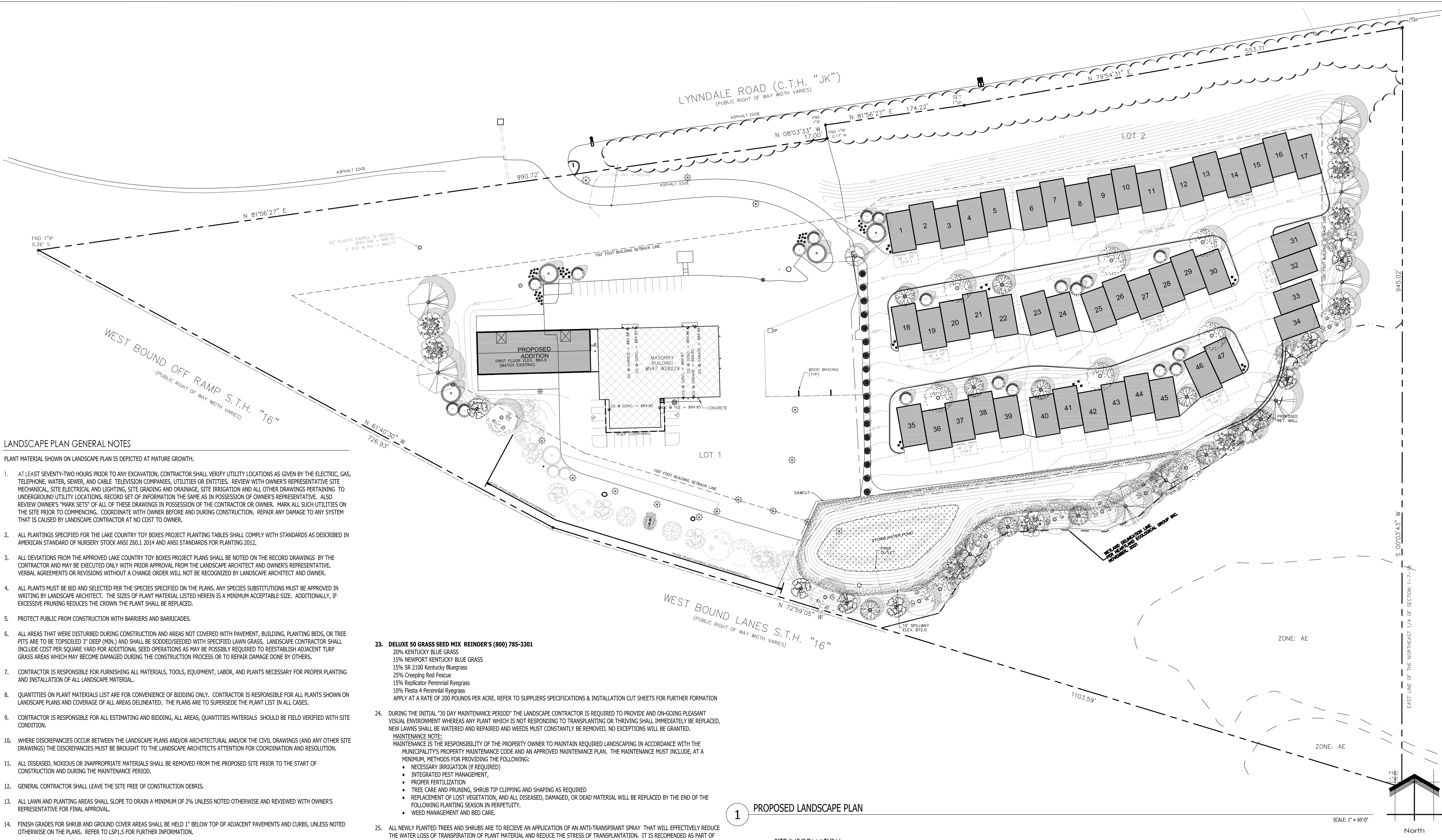
Scale: 1" = 60'-0"

Drawn By: MCD

Job Number: L22-046

Sheet Number:

LSP1.1



LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE LAKE COUNTRY TOY BOXES PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED LAKE COUNTRY TOY BOXES PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS. BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS, ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITTS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.5 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITTS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.5 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.5 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.5 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.5 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITTS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.5 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.

- DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
 - 20% KENTUCKY BLUE GRASS
 - 15% NEWPORT KENTUCKY BLUE GRASS
 - 15% SR 2100 Kentucky Bluegrass
 - 25% Creeping Red Fescue
 - 15% Replicator Perennial Ryegrass
 - 10% Fiesta 4 Perennial Ryegrass
 - APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
 - NECESSARY IRRIGATION (IF REQUIRED)
 - INTEGRATED PEST MANAGEMENT,
 - PROPER FERTILIZATION
 - TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
 - REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
 - WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECIEVE AN APPLICATION OF AN ANTI-TRANSPARENT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPARATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECIEVE AN APPLICATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800)-242-8511. (262)-432-7910 (877) 500-9592 www.DiggersHotline.com OR

811

Know what's below.
Call before you dig.

1 PROPOSED LANDSCAPE PLAN

SITE INFORMATION

USDA PLANT HARDINESS ZONE	5a (-20 to -15 Degrees F)	PROPOSED NEW BUILDING AREA	93,362 SQ. FT.
LOT ZONING		EXISTING BUILDING AREA	15,4941 SQ. FT.
LOT AREA	866,318 SQ. FT. (19.89 Acres)	EXISTING BUILDING AREA	8,151 SQ. FT.
TOTAL IMPERVIOUS	285,557 SQ. FT. (6.56 Acres)		
TOTAL GREENSPACE	580,760 SQ. FT. (13.33 Acres)		
SITE LANDSCAPE PERCENTAGE	33%		

DESIGN COMPLIANCE: THIS LANDSCAPE PLAN IS ACCURATE AND IN COMPLAINE WITH THE TOWN OF DELAFIELD LANDSCAPE REQUIREMENTS SET FOR IN SECTION 217-5 Landscaping & Screening Standards
CONTRACTOR NOTE: THE LANDSCAPE CONTRACTOR/GENERAL CONTRACTOR ARE RESPONSIBLE TO INSTALL THE LANDSCAPE AS PER THE APPROVED PLAN. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THE THIS APPROVED PLAN, THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE RESPONSIBLE FOR UPDATING THE PLANS ACCORDINGLY AND SUBMITTING THOSE REVISED PLANS FOR APPROVAL AND "SIGN OFF" WITH THE TOWN OF DELAFIELD. THE LANDSCAPE CONTRACTOR / GENERAL CONTRACTOR ARE ALSO RESPONSIBLE FOR VERIFYING THAT ANY PLANT MATERIAL SUBSTITUTIONS OR MODIFICATIONS THAT ARE MADE TO THE APPROVED LANDSCAPE DESIGN DOCUMENTS WILL NOT CHANGE OR ALTER ANY OF THE REQUIRED SUPPORTING LANDSCAPE REQUIREMENT CALCULATIONS. UPON COMPLETION OF THE CONSTRUCTION PROJECT AND FILE THAT AFFIDAVIT WITH THE TOWN OF DELAFIELD.

EXISTING CONDITIONS GENERAL NOTES

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS W/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

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LE ROAD (C.T.H. "JK")
UBLIC RIGHT OF WAY WIDTH VARIES



1 PROPOSED PARTIAL LANDSCAPE PLAN - NORTH

Proposed Plant Material Table LSP1.2

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	Acgr		Acer griseum	Paperbark maple	3"-Cal - B&B	1
4	AcmlM		Acer miyabei 'Morton'	State Street Miyabe Maple	3"-Cal - B&B	1
3	AcsoFMM		Acer saccharum 'Flax Mill Majesty'	Flax Mill Majesty Sugar Maple	3"-Cal - B&B	1
1	AcsoGM		Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3"-Cal - B&B	1
1	ActaGA		Acer tataricum 'GarAnn'	Hot Wings Tatarian Maple	3"-Cal - B&B	1
3	Actrfl		Acer x freemanii 'Firefall'	Firefall Maple	3"-Cal - B&B	1
1	ActfSG		Acer x freemanii 'Sienna'	Sienna Glen Maple	3"-Cal - B&B	1
1	GibiPS		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	3"-Cal - B&B	1

Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	Abcon		Abies concolor	White fir	6' - 7' - B&B	2
12	JuscM		Juniperus scopulorum 'Medora'	Medora Juniper	3' - 4' - B&B	2
7	JuscM		Juniperus scopulorum 'Moonglow'	Moonglow Juniper	5'- 6' - B&B	2
9	PipuB		Picea pungens 'Glauca'	Colorado blue spruce	6' - 7' - B&B	2

Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
17	PaviN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	4

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Evenly shaped upright tree with full branching to the ground.
 3. Full, well rooted plant, evenly shaped.
 4. Full, well rooted plant.

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LANDSCAPE DESIGN
Landscape Consulting
& Master Planning Design Services
11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:

LAKE COUNTRY
TOY BOXES

Lyndale Avenue
Delafield, WI

Issuance and Revisions:

Date	Number	Description
06/10/22		Client Review Submittal
07/12/22		Plan Commission Submittal/Revisions Based on Engineering Review

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LIABILITY, OR COST, INCLUDING ATTORNEYS FEES
AND COSTS OF DEFENSE ARISING FROM ANY
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Sheet Title:

PROPOSED PARTIAL LANDSCAPE
PLAN - NORTH
AND PLANT MATERIAL TABLE

Date of Drawing:	07/12/22
Scale:	1" = 30'-0"
Drawn By:	MCD
Job Number:	L22-046
Sheet Number:	

LSP1.2

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Project:
LAKE COUNTRY TOY BOXES
Lyndale Avenue
Delafield, WI

Issuance and Revisions:		
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Sheet Title:
PROPOSED PARTIAL LANDSCAPE PLAN - NORTH AND PLANT MATERIAL TABLE

Date of Drawing: 07/12/22
Scale: 1" = 30'-0"
Drawn By: MCD
Job Number: L22-046
Sheet Number:

LSP1.3



1 PROPOSED PARTIAL LANDSCAPE PLAN - NORTH

Proposed Plant Material Table LSP1.3

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
8	Acgr		Acer griseum	Paperbark maple	3"-Cal - B&B	1
3	AcmiM		Acer miyabei 'Morton'	State Street Miyabe Maple	3"-Cal - B&B	1
2	AcsoFMM		Acer saccharum 'Flax Mill Majesty'	Flax Mill Majesty Sugar Maple	3"-Cal - B&B	1
5	AcsoGM		Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3"-Cal - B&B	1
5	ActaGA		Acer tataricum 'GarAnn'	Hot Wings Tatarian Maple	3"-Cal - B&B	1
6	AcfrFf		Acer x freemanii 'Firefall'	Firefall Maple	3"-Cal - B&B	1
4	AcfrSG		Acer x freemanii 'Sienna'	Sienna Glen Maple	3"-Cal - B&B	1

Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
9	JuscM		Juniperus scopulorum 'Medora'	Medora Juniper	3' - 4' - B&B	2
10	JuscM		Juniperus scopulorum 'Moonglow'	Moonglow Juniper	5' - 6' - B&B	2
6	PipuB		Picea pungens 'Glauca'	Colorado blue spruce	6' - 7' - B&B	2

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Evenly shaped upright tree with full branching to the ground.
 3. Full, well rooted plant, evenly shaped.
 4. Full, well rooted plant.

Lower Two-Thirds of the Bowl - Stormwater Prairie Seed Mix @ Storm Water Management Pond Basin from Cardno			
Quantity	Symbol	Supplier	Type
10,400 sq. ft. VERIFY		Agrecol	Rainwater Renewal Seed Mix - mixture contains 15 native permanent grass/ sedge species and 19 native forb species. Refer to cut sheets for mix specifics and installation instructions.
Upper Third of the Bowl - Economy Prairie Seed Mix Storm Water Management Pond Basin from Cardno			
Quantity	Symbol	Supplier	Type
OVERALL 20,000 sq. ft. VERIFY		Agrecol	Economy Prairie Seed Mix - mixture contains 7 native permanent grass/ sedge species and 15 native forb species. Apply at 10 PLS pounds per acre. Refer to cut sheets for mix specifics and installation instructions.

Project:

LAKE COUNTRY TOY BOXES

Lyndale Avenue
Delafield, WI

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Sheet Title:

PROPOSED PARTIAL LANDSCAPE
PLAN - NORTH
AND PLANT MATERIAL TABLE

Date of Drawing: 07/12/22

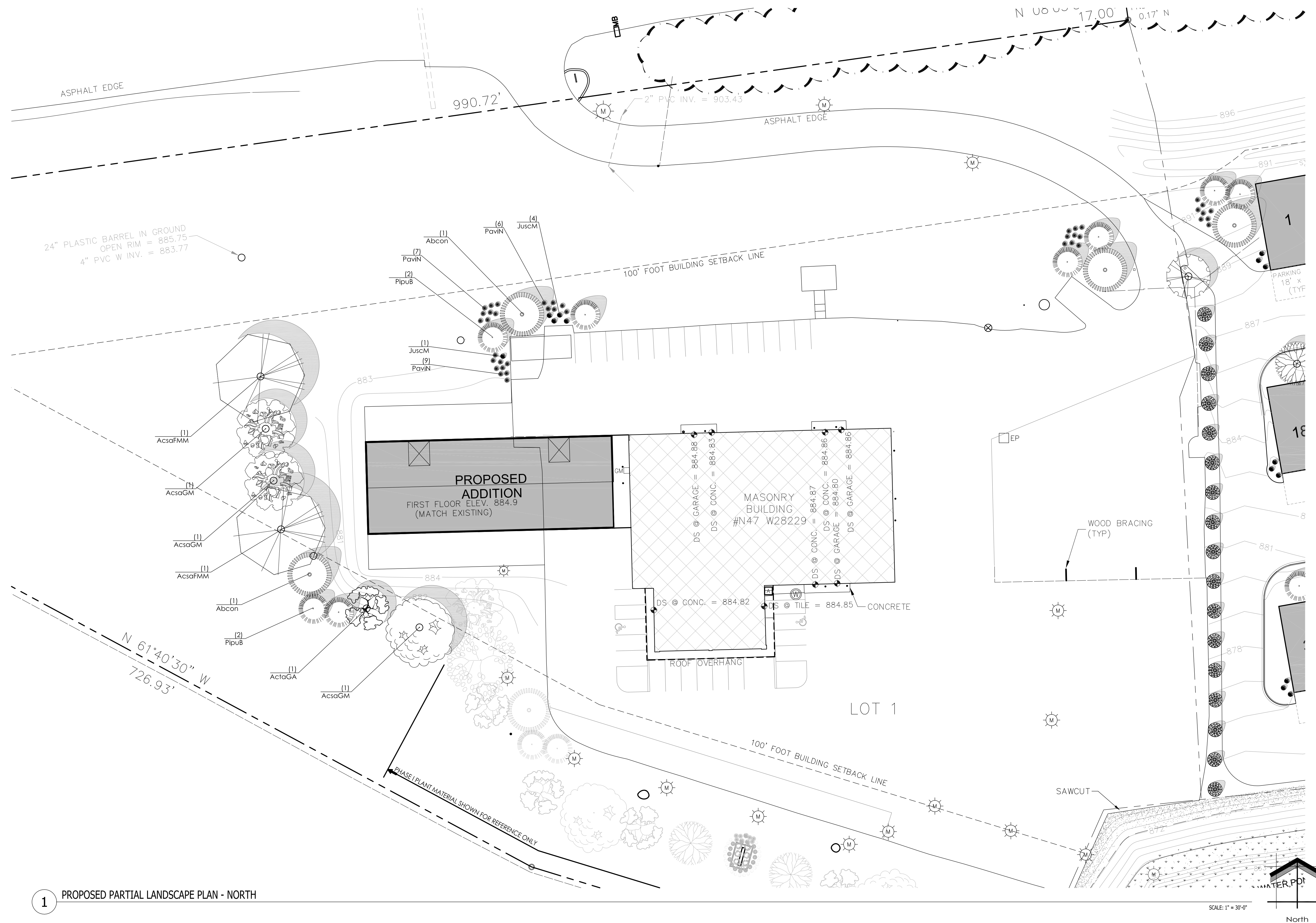
Scale: 1" = 30'-0"

Drawn By: MCD

Job Number: L22-046

Sheet Number:

LSP1.4



1 PROPOSED PARTIAL LANDSCAPE PLAN - NORTH

Proposed Plant Material Table LSP1.4

Broadleaf Deciduous Tree

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	AcmlM		Acer miyabei 'Marton'	State Street Miyabe Maple	3"-Cal - B&B	1
2	AcsaFMM		Acer saccharum 'Flax Mill Majesty'	Flax Mill Majesty Sugar Maple	3"-Cal - B&B	1
1	AcsaGM		Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3"-Cal - B&B	1
1	ActaGA		Acer tataricum 'GarAnn'	Hot Wings Tatarian Maple	3"-Cal - B&B	1

Conifer Evergreen Tree

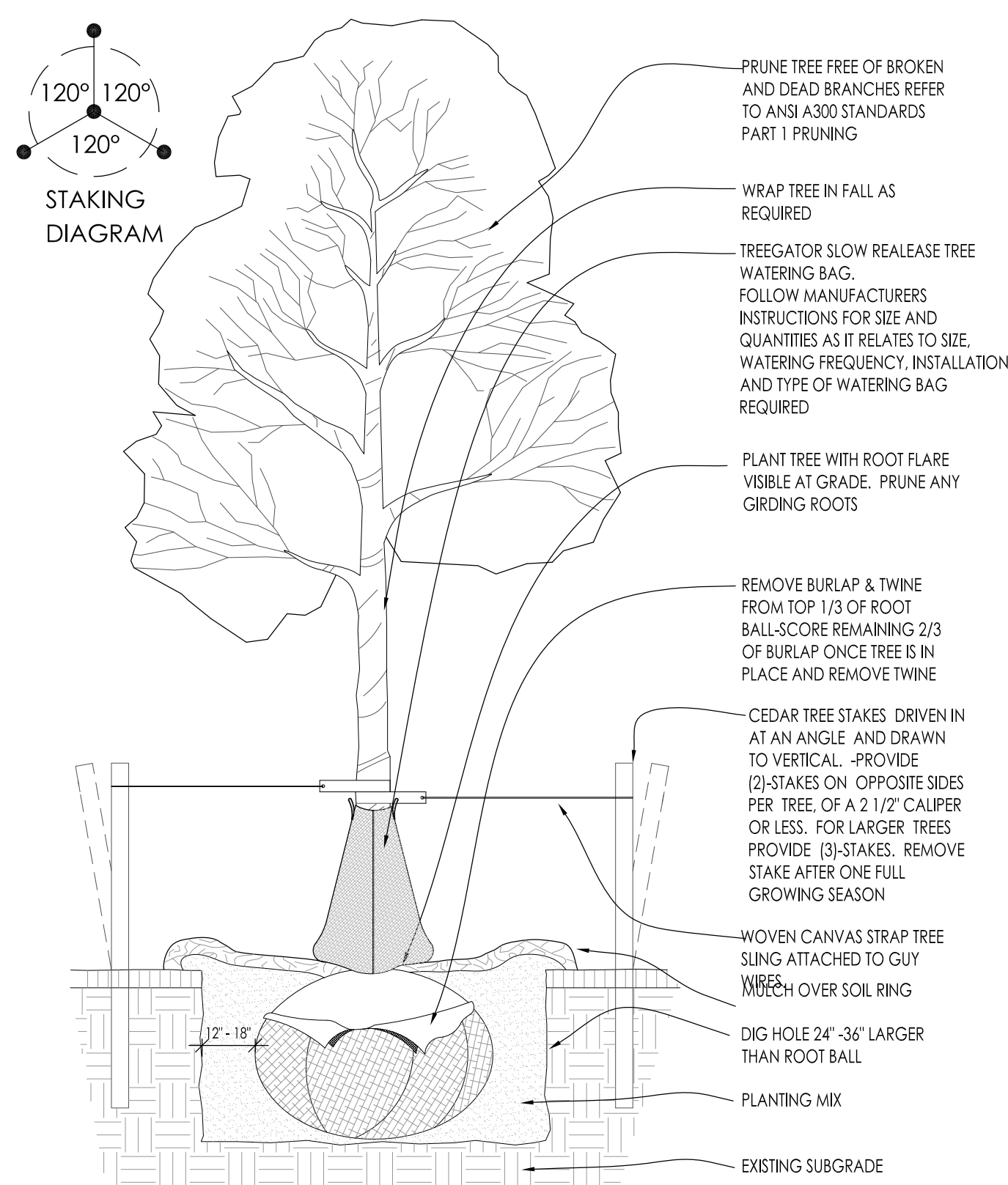
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	Abcon		Abies concolor	White fir	6' - 7' - B&B	2
5	JusCM		Juniperus scopulorum 'Medora'	Medora Juniper	3' - 4' - B&B	2
4	PipuB		Picea pungens 'Glauca'	Colorado blue spruce	6' - 7' - B&B	2

Perennial Grass

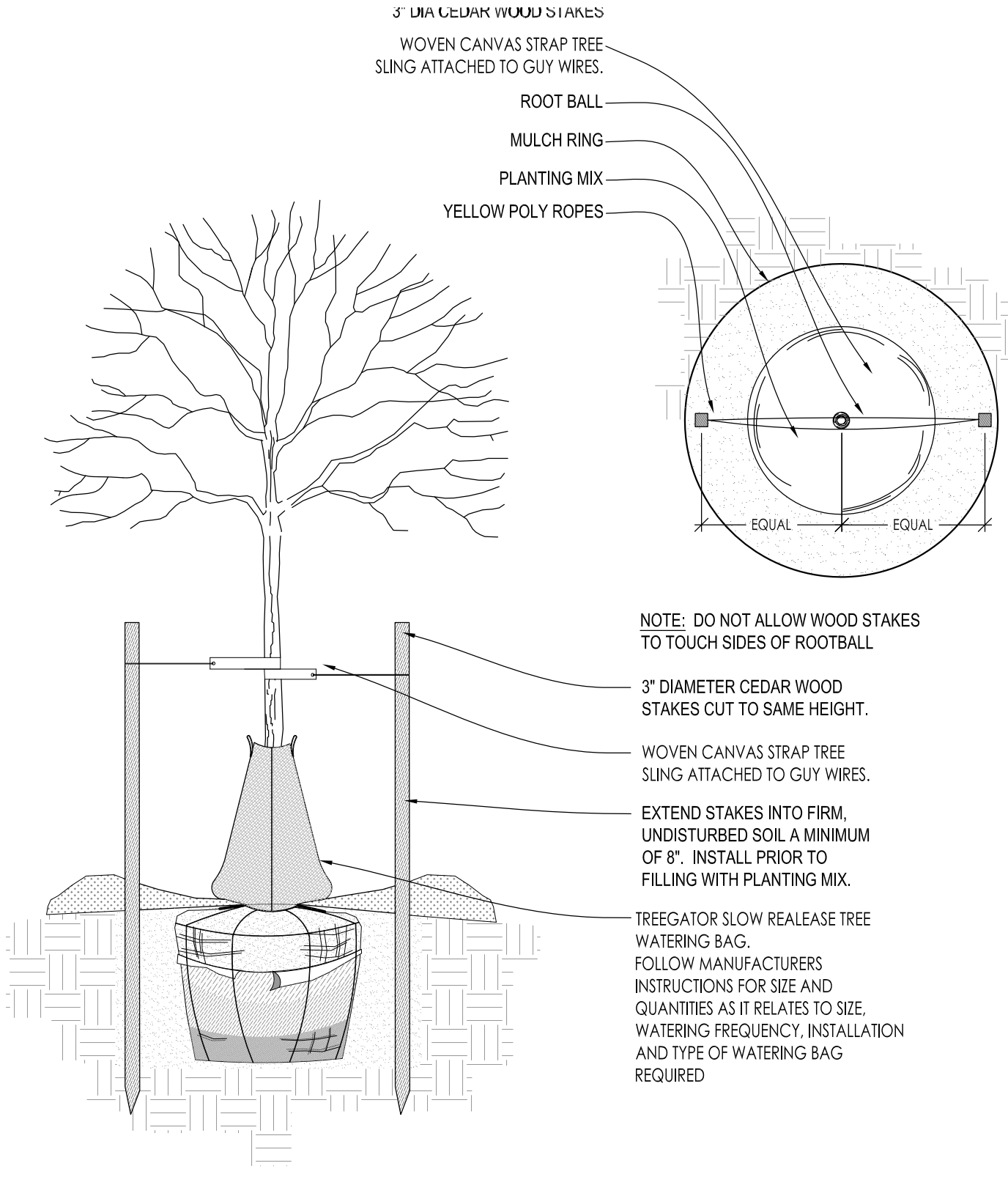
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
23	PaviN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	4

Comments

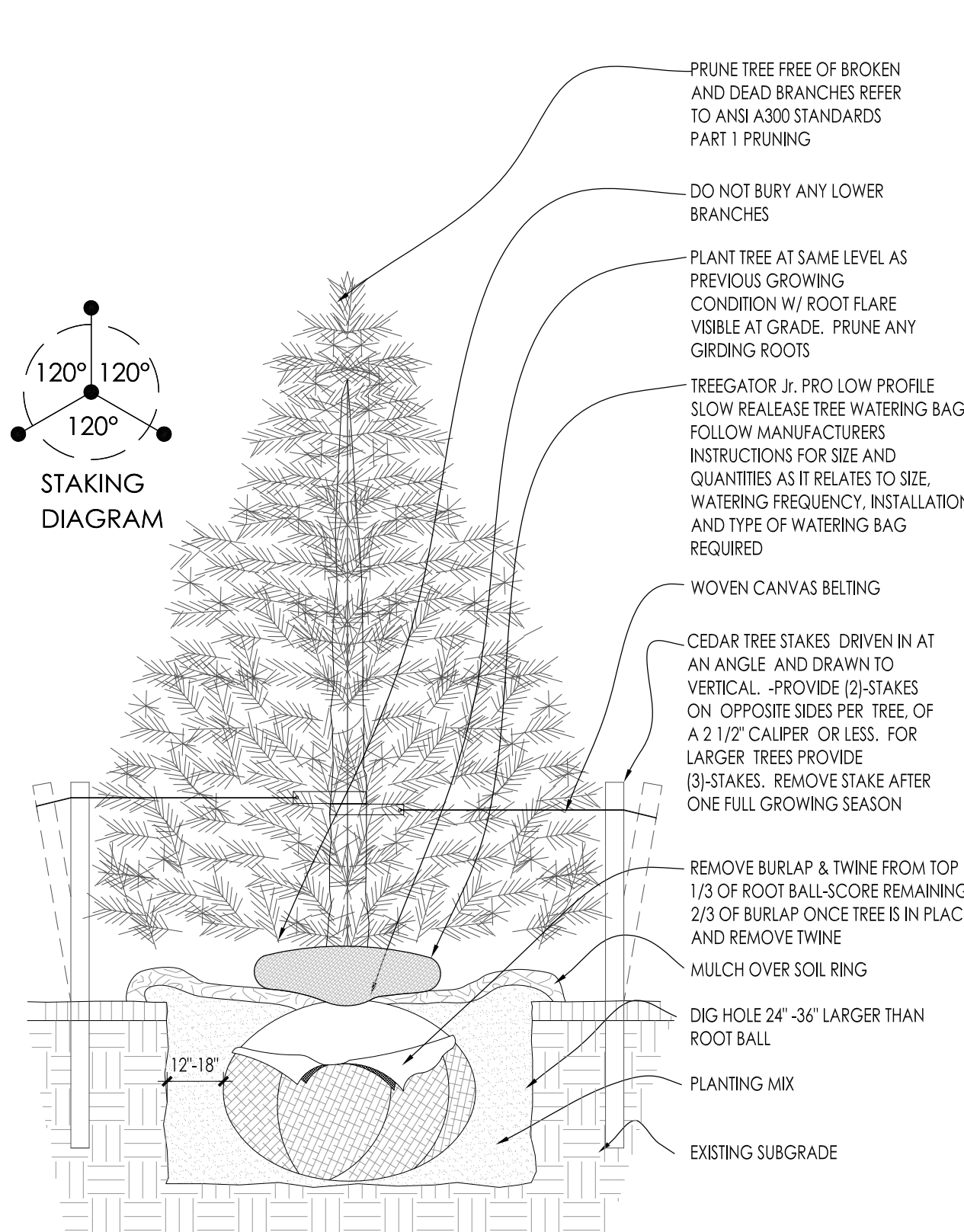
1. Straight central leader, full & even crown. Prune only after planting.
2. Evenly shaped upright tree with full branching to the ground.
3. Full, well rooted plant, evenly shaped.
4. Full, well rooted plant.



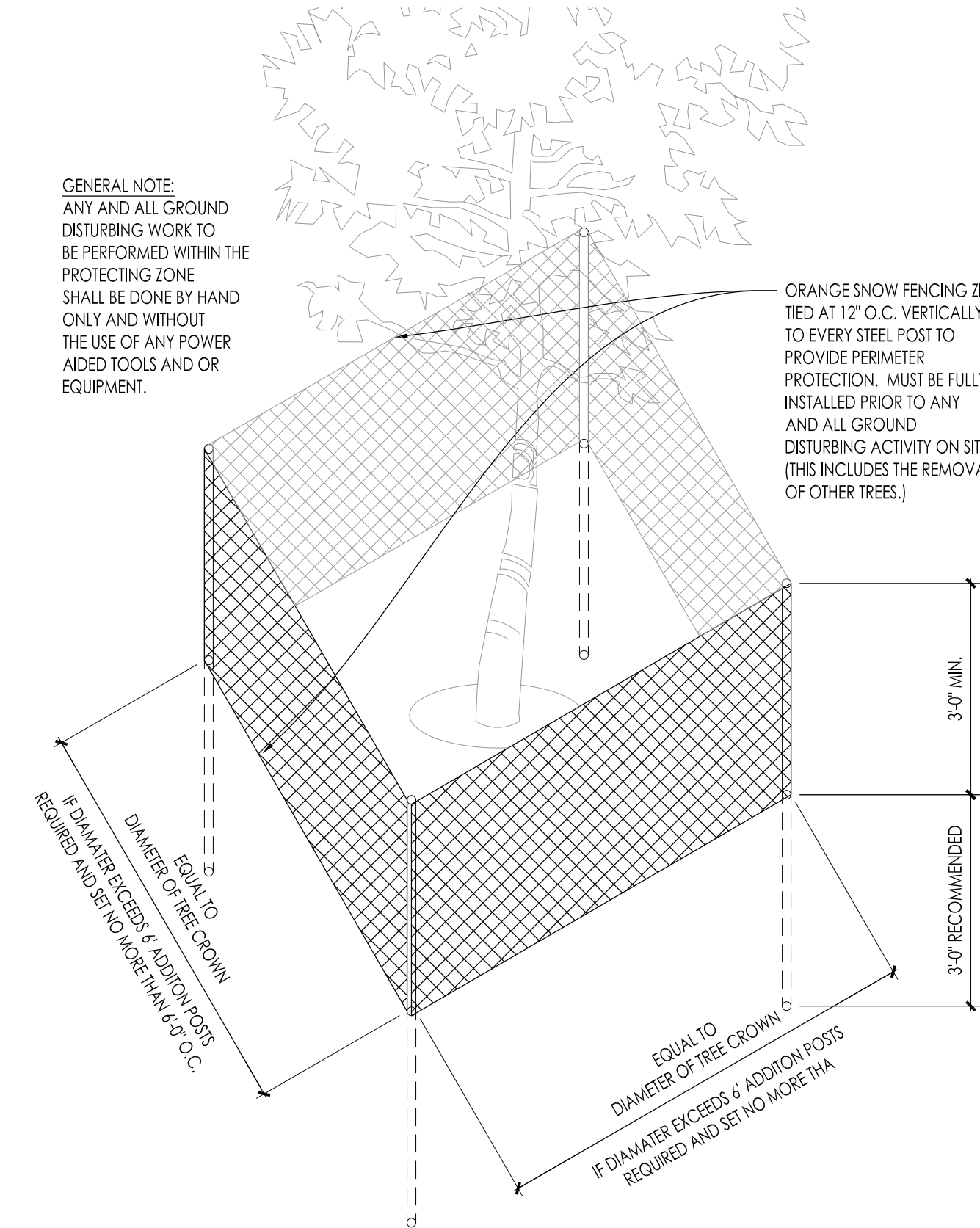
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



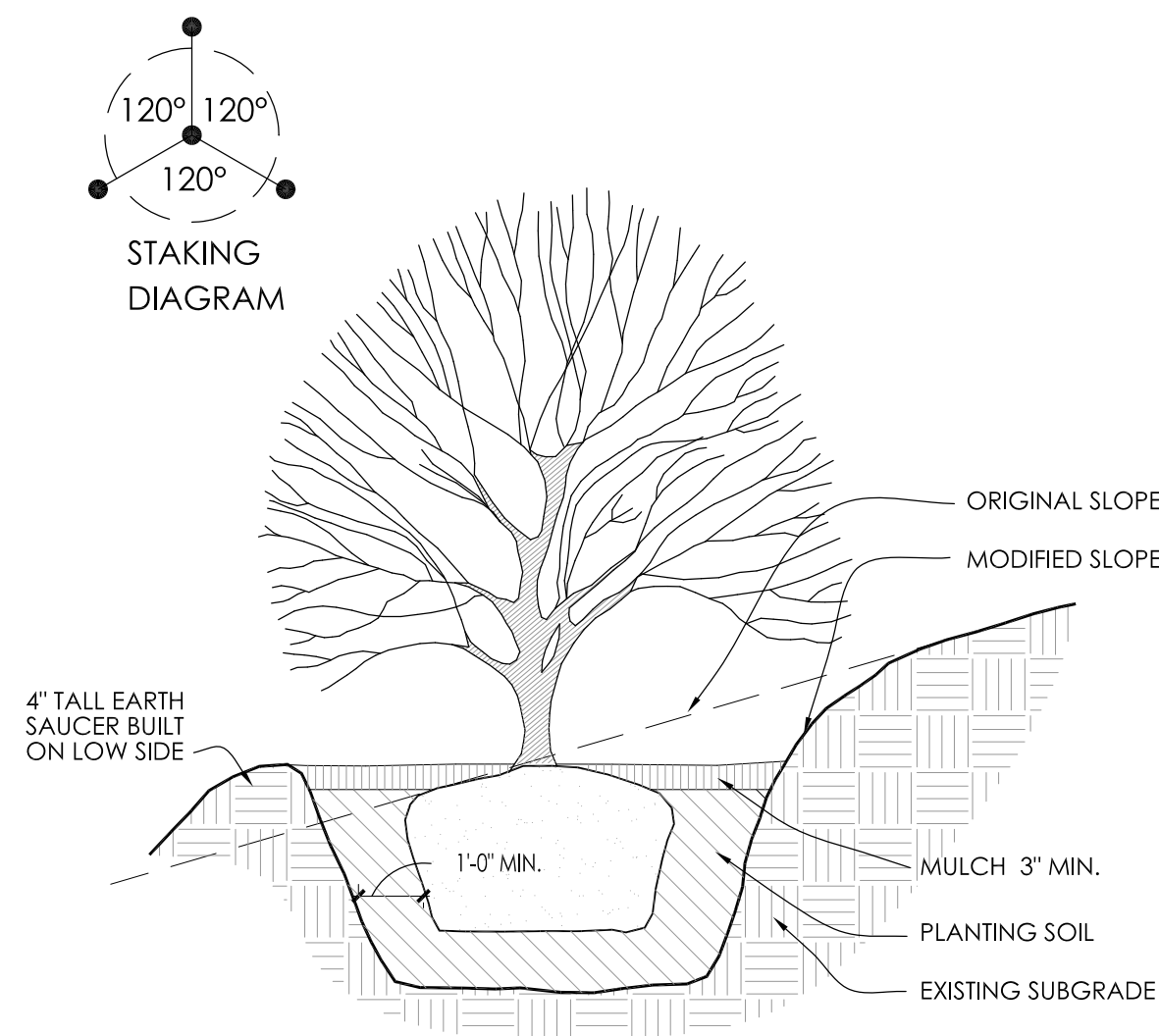
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



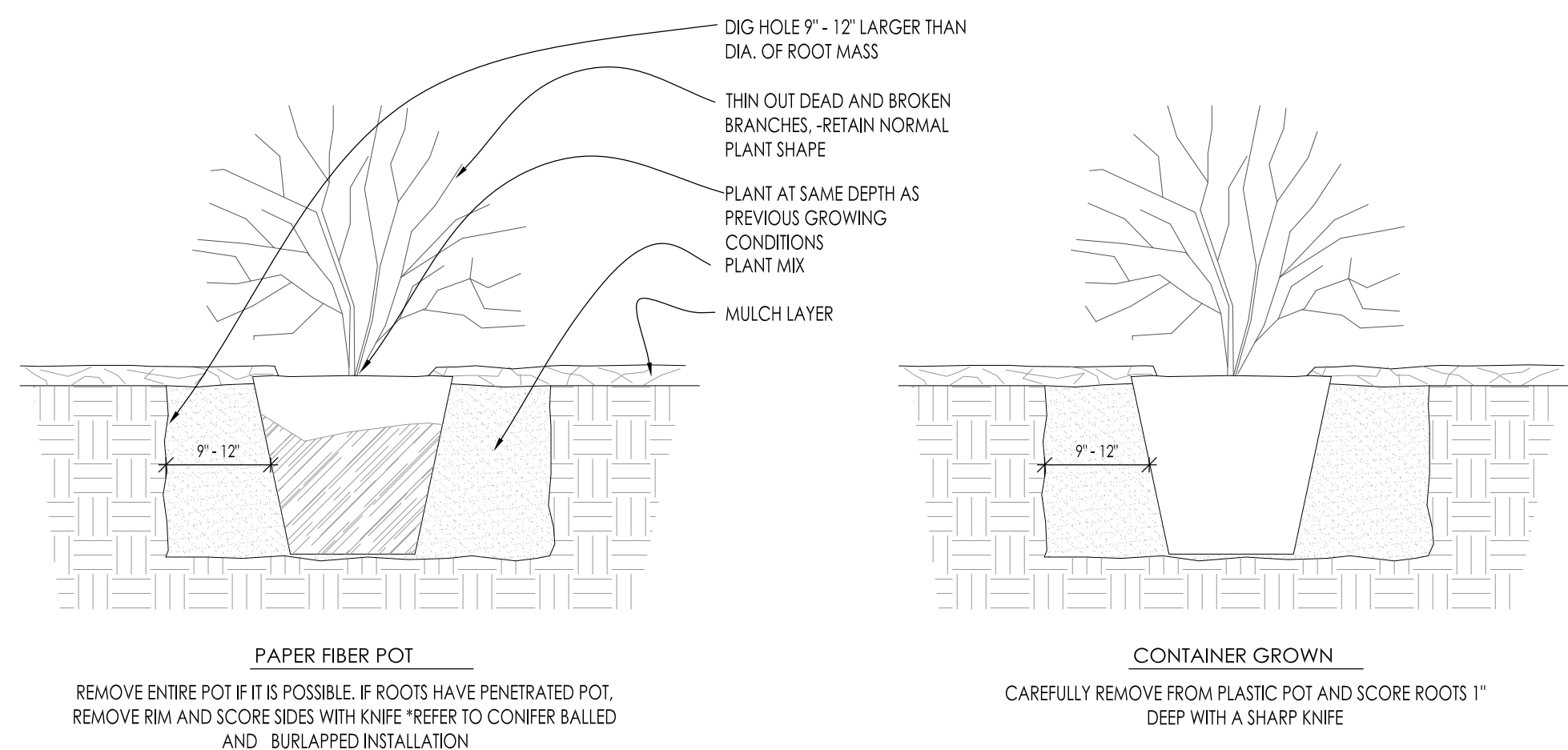
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



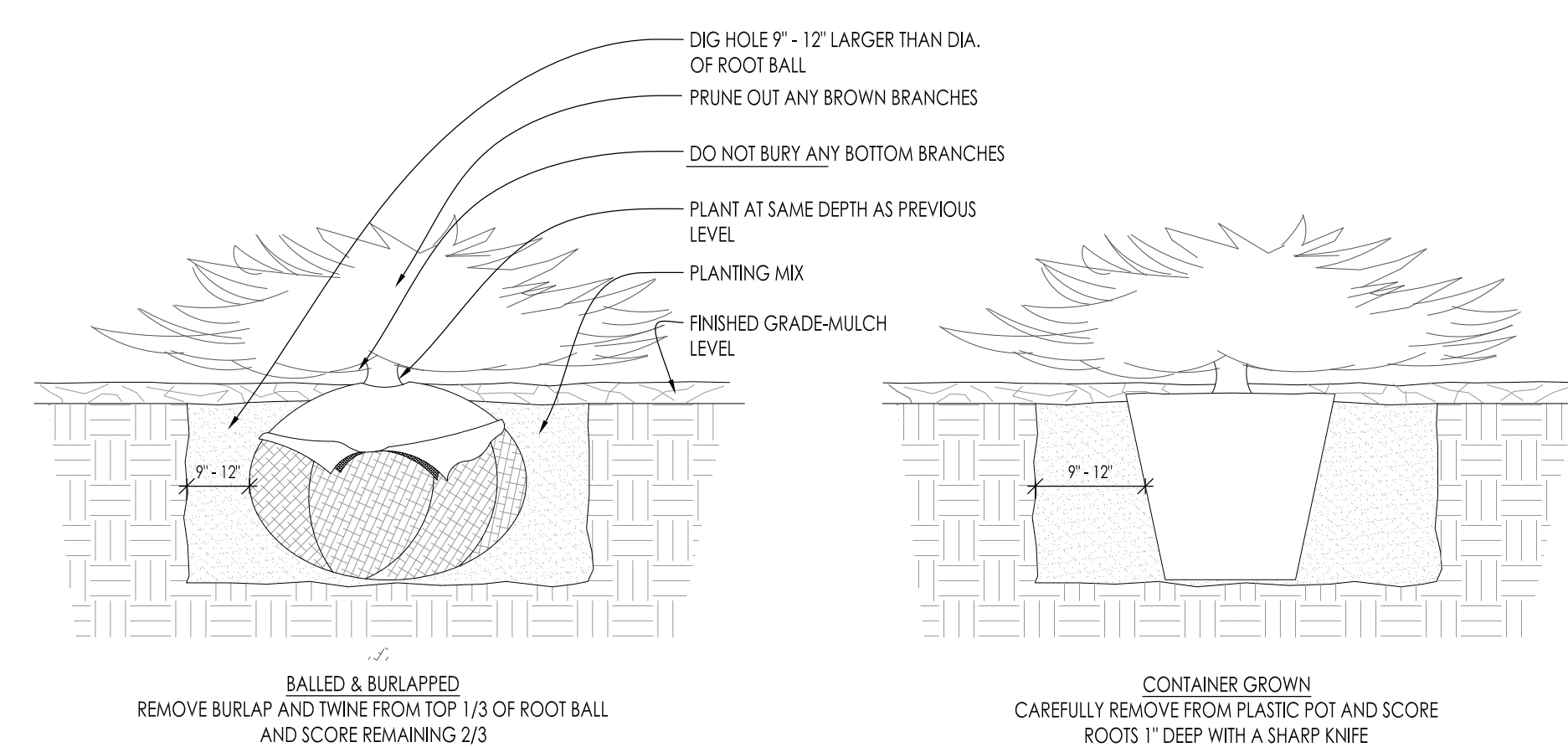
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



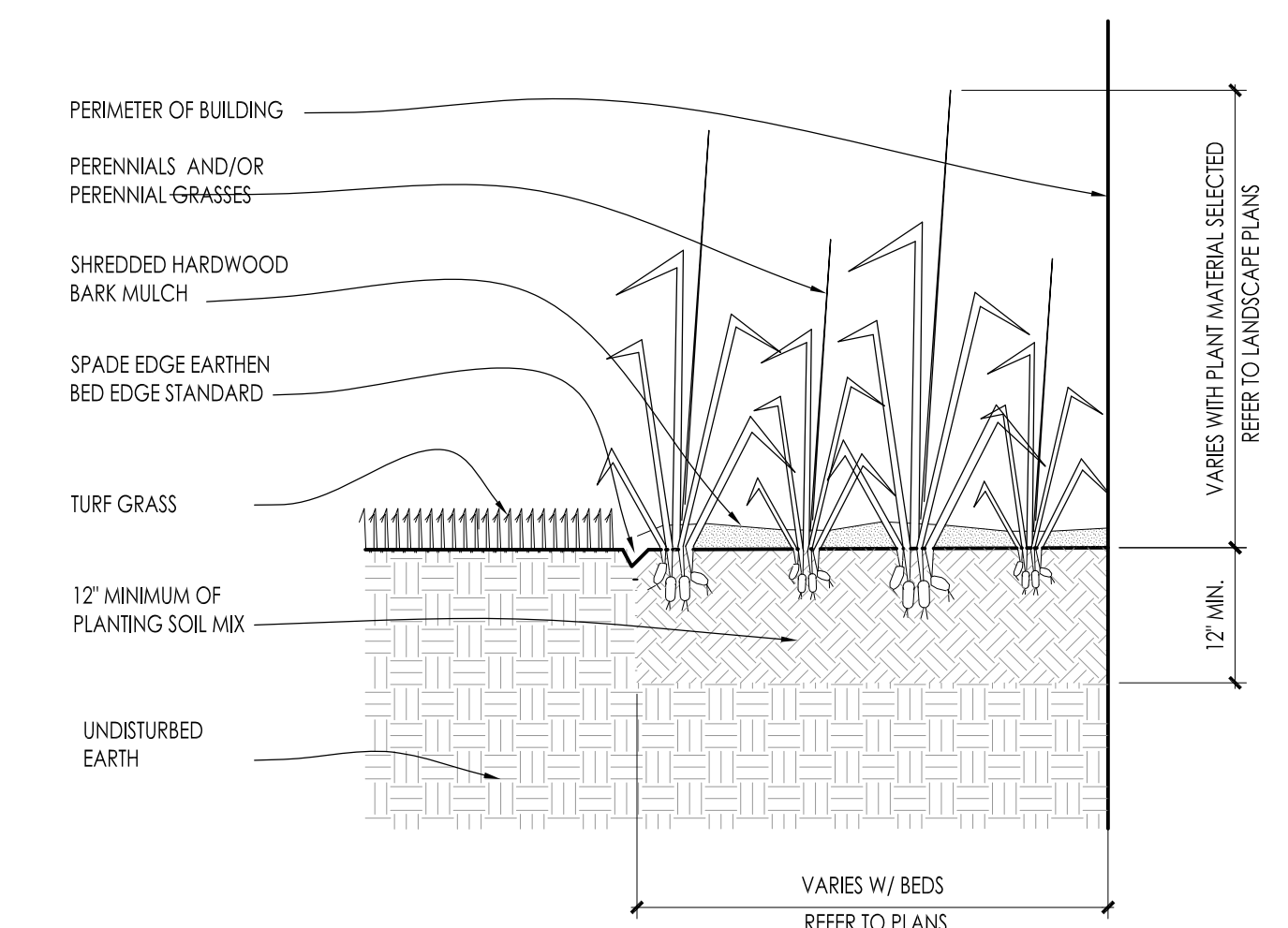
5 SLOPE PLANTING DETAIL SCALE: NONE



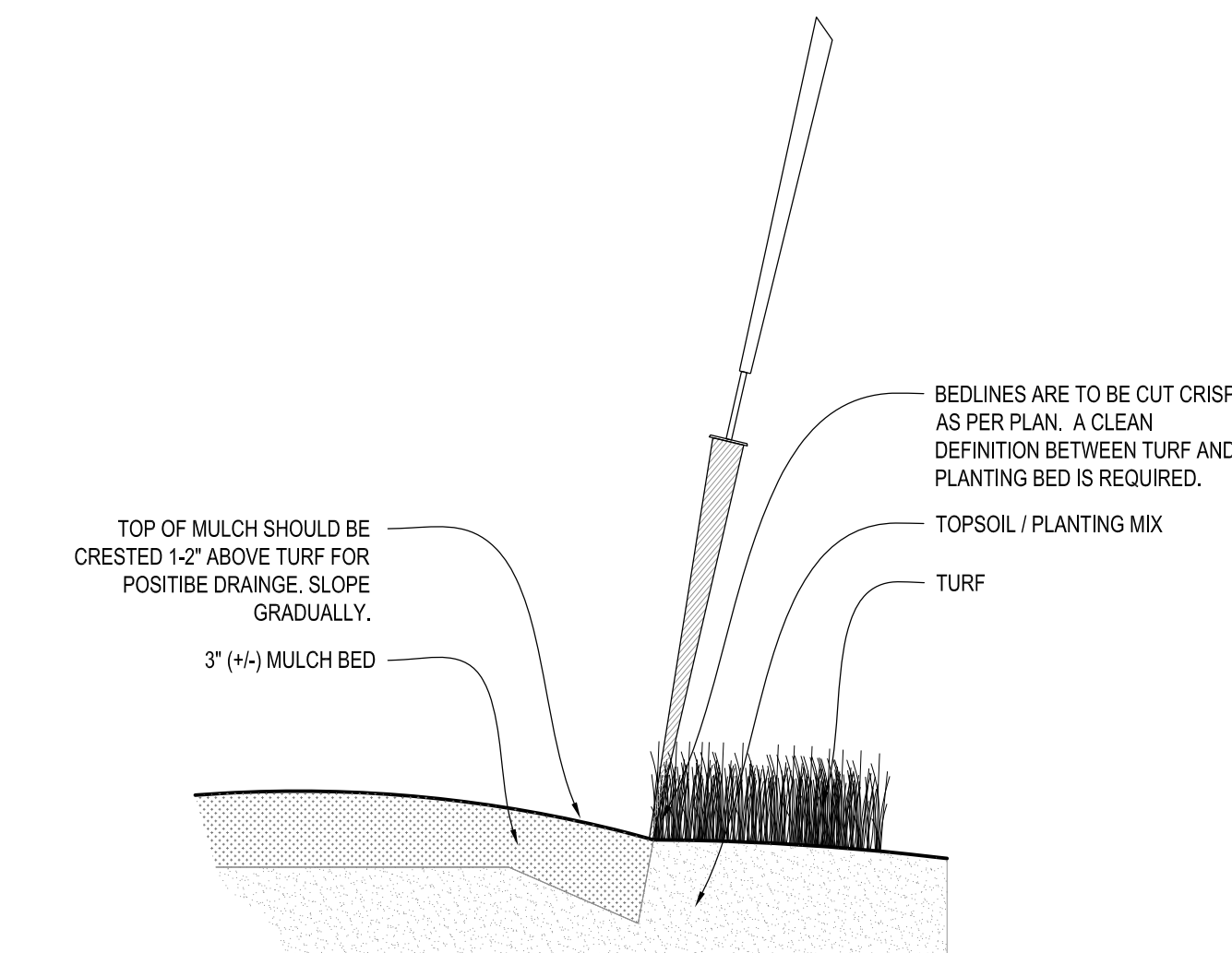
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

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& Master Planning Design Services
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Wauwatosa, WI 53226
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Project:

LAKE COUNTRY TOY BOXES

Lyndale Avenue
Delafield, WI

Issuance and Revisions:

Date	Number	Description
06/10/22		Client Review Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

Date of Drawing:	06/10/22
Scale:	As Noted
Drawn By:	MCD
Job Number:	L22-046
Sheet Number:	

LSP1.5

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Sheet Title:

PROPOSED PHOTOMETRIC LIGHT
LEVEL CALCULATIONS PLAN,
GENERAL NOTES,
AND LIGHT FIXTURE TABLE

Date of Drawing: 07/12/22

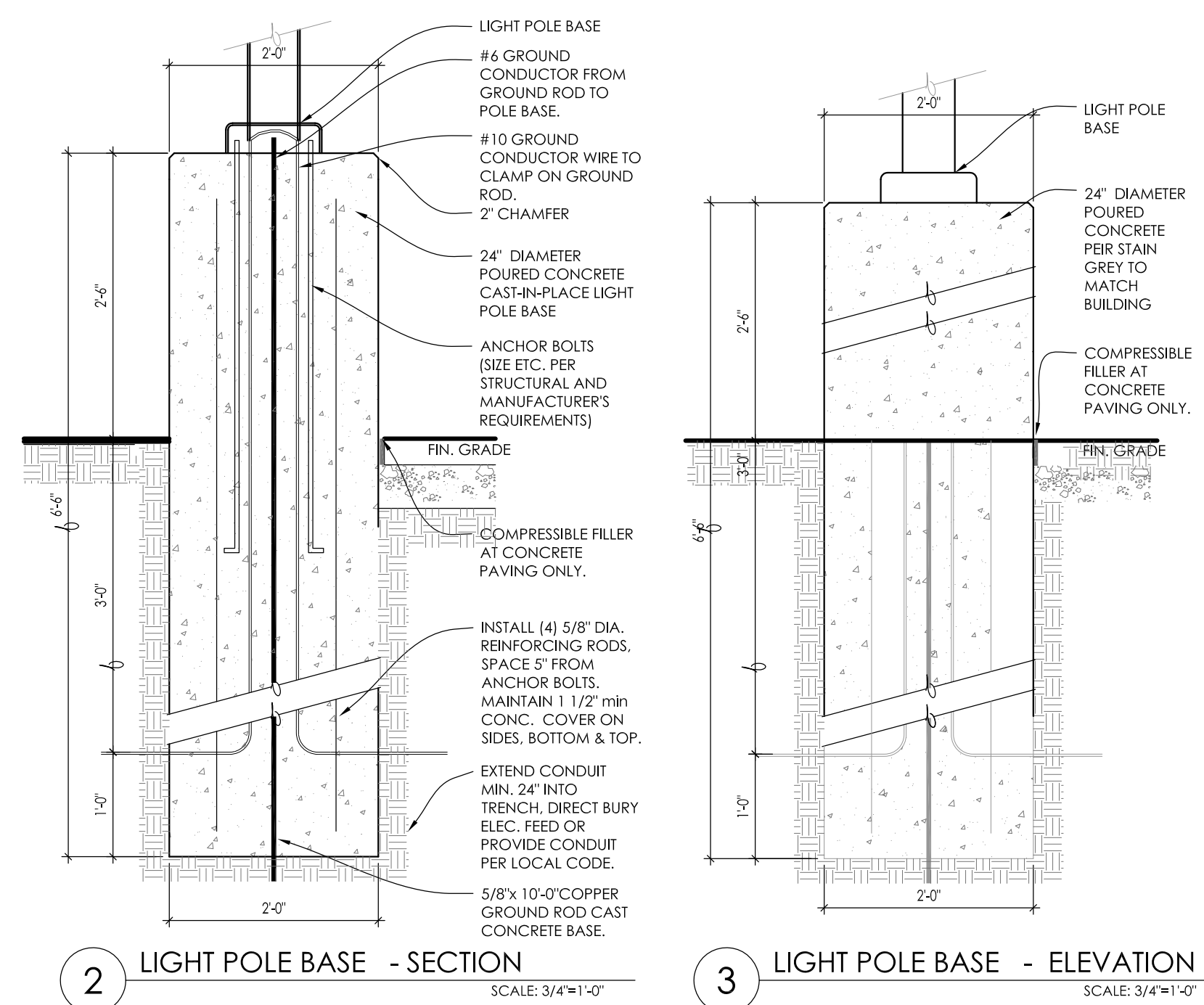
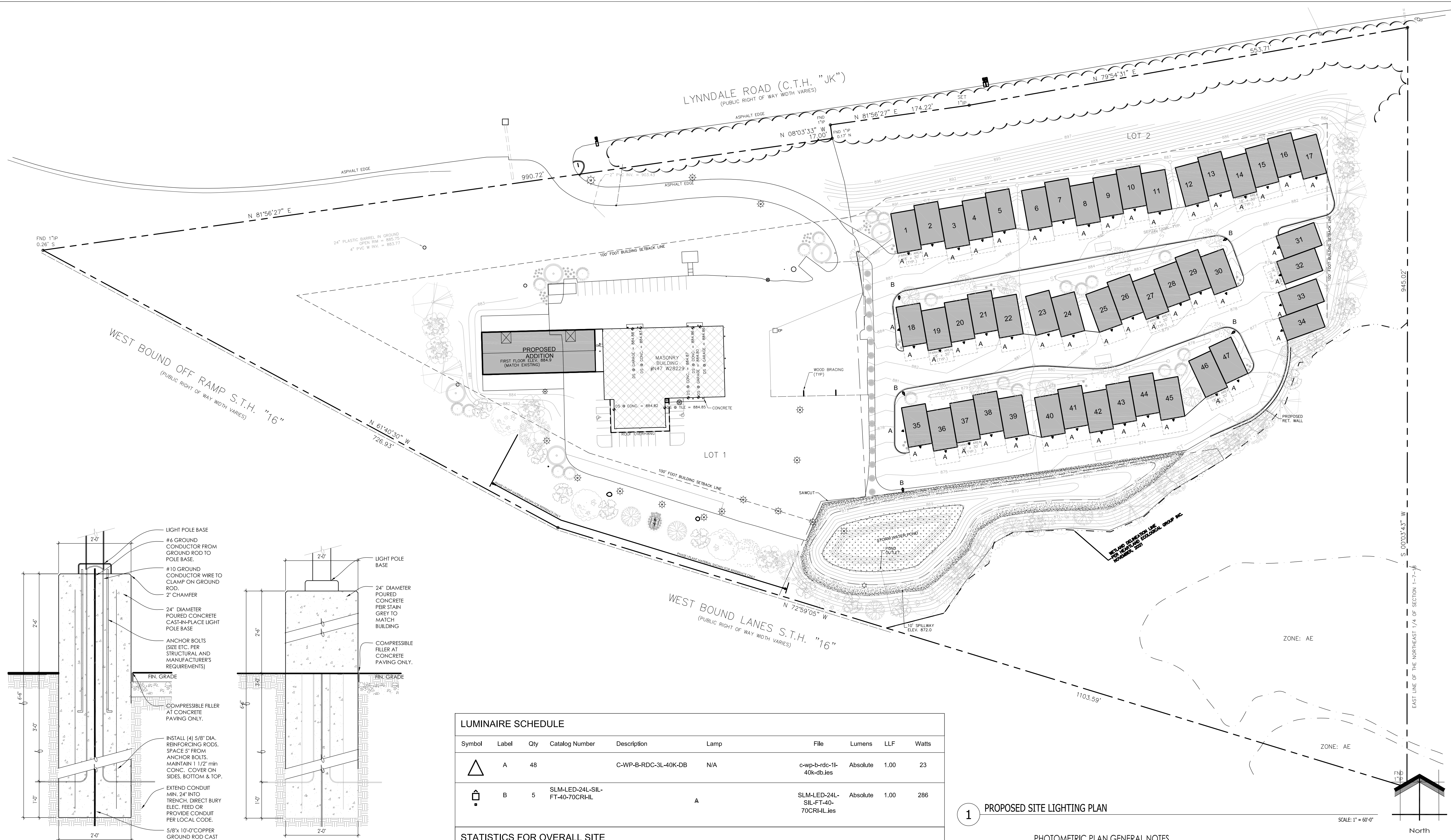
Scale: 1" = 60'-0"

Drawn By: MCD

Job Number: L22-046

Sheet Number:

PHO1.1



TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE
(NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION
AS SHOWN IS OBTAINED FROM THE RECORDS OF
MUNICIPALITY AND LOCAL UTILITY COMPANIES.
THE ACCURACY OF WHICH CAN NOT BE
GUARANTEED OR CERTIFIED TO. THE LOCATIONS
OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON
THIS SURVEY ARE APPROXIMATE. THERE MAY BE
OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF
PARTICIPANT'S UNDERGROUND
FACILITIES BEFORE YOU DIG IN
WISCONSIN CALL THE MILWAUKEE
UTILITY ALERT NETWORK
(800) 242-8511, (262) 452-7910
(877) 500-9592
www.DiggersHotline.com
OR
811
Know what's below.
Call before you dig.

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
	A	48		C-WP-B-RDC-3L-40K-DB	N/A	c-wp-b-rdc-1l-40k-db.ies	Absolute 1.00 23
	B	5	SLM-LED-24L-SIL-FT-40-70CRI-IL		A	SLM-LED-24L-SIL-FT-40-70CRI-IL.ies	Absolute 1.00 286
STATISTICS FOR OVERALL SITE							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	+	0.3 fc	14.9 fc	0.0 fc	N / A	N / A	
STATISTICS FOR PAVED AREA ONLY							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #1	+	1.7 fc	14.9 fc	0.0 fc	N / A	N / A	
NEW LUMINAIRE SCHEDULE NOTES:							

1. FIXTURE "B" (5) NEW MIRADA SMALL AREA LIGHT (SINGLE HEAD AND ARM) FROM LSI TO BE INSTALLED ON AN NEW 3" DIAMETER X 16'-0" ROUND ALUMINUM POLE WITH A DARK BRONZE FINISH AND INSTALLED ON A NEW 2'-6" POURED CONCRETE LIGHT POLE BASE FOUNDATION.
 2. ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3'-0" FROM BACK OF CURB TO THE EDGE (WHERE APPLICABLE) OR FACE OF THE REINFORCED LIGHT POLE BASE UNLESS NOTED OTHERWISE.
 3. INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
 4. CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
 5. ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
 6. PROPOSED POLE MOUNTED FIXTURES (HEADS AND TENSORS) ARE TO HAVE A DARK BRONZE FINISH (TO MATCH EXISTING) W/ OPTIONAL PHOTOCELL CONTROL.
 7. ALL BUILDING MOUNTED LIGHT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING HEIGHTS AND LOCATIONS.
- THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

1 PROPOSED SITE LIGHTING PLAN

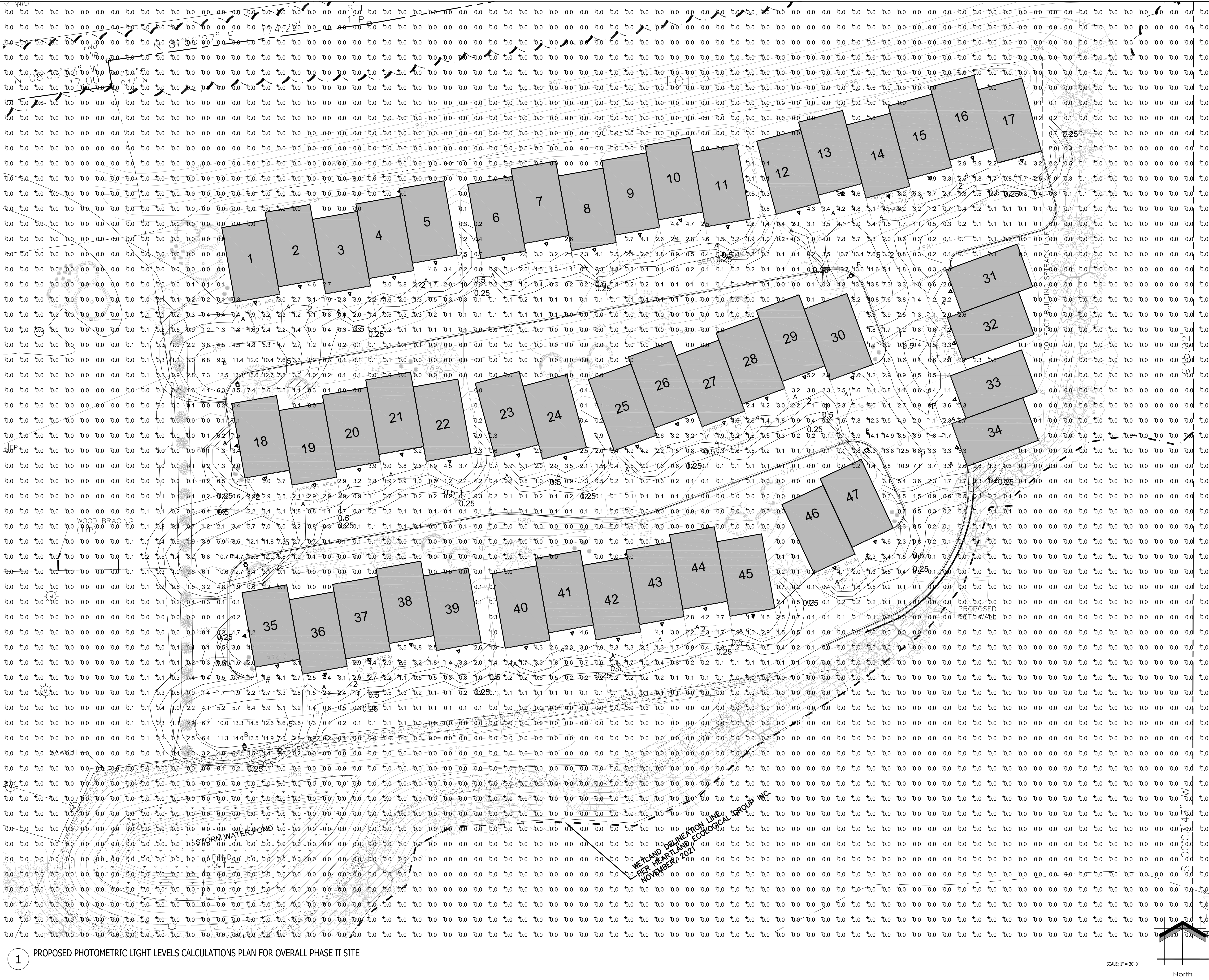
PHOTOMETRIC PLAN GENERAL NOTES

1. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
2. THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
3. IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
4. ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS, BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

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Landscape Consulting
& Master Planning Design Services
11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project:
LAKE COUNTRY TOY BOXES
Lyndale Avenue
Delafield, WI

Issuance and Revisions:		
Date	Number	Description
06/10/22		Client Review Submittal
07/12/22		Plan Commission Submittal/Revisions Based on Engineering Review

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Sheet Title:	
PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, FOR OVERALL PHASE II SITE	
Date of Drawing:	07/12/22
Scale:	1" = 30'-0"
Drawn By:	MCD
Job Number:	L22-046
Sheet Number:	

PHO1.2

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InSite Landscape Design Inc.

Sheet Title:

PROPOSED PHOTOMETRIC LIGHT
LEVEL CALCULATIONS PLAN,
FOR PHASE II PAVED AREA

Date of Drawing:	07/12/22
Scale:	1" = 30'-0"
Drawn By:	MCD
Job Number:	L22-046
Sheet Number:	

PHO1.3

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L22-000 - LAKE COUNTRY TOY BOXES - 07/12/2022

C-WP-B-RDC Series

Cutoff LED Wall Pack

Replaces up to 400W PSMH

OFF THE WALL SAVINGS

Our eLUS listed C-Lite Cutoff LED Wall Pack delivers up to 21,000 lumens and is available in 4000K and 5000K. It's dimmable, for maximum energy savings, and comes with a 5-year limited warranty. It also comes with a DLC Premium 5.1 Listing.

PRODUCT SPECIFICATIONS

OVERVIEW

• Initial Delivered Lumens 1500 - 20,000 Lumens

• CRI ≥ 70

• CCT: 4000K, 5000K

• Mounting height: 12 - 25 feet

• Input Power: 12W/22W/47W/77W/144W

• Dimmable: Yes, 0-10V

• Operating Temperature Range: -40°F to 104°F (-40°C to 40°C)

• Estimated L70 Lifetime @ 25°C: >100,000 hours

• Power Factor > 0.9

• Total Harmonic Distortion < 20%

• Limited Warranty: 5 Years*

• Replaces up to 400 PSMH

FEATURES

RECOMMENDED USE

INPUT VOLTAGE

• Replaces up to 400W PSMH

• 4kV Surge suppression

• Contractor friendly install

• Security

• Perimeter

• Commercial

• Universal (120V through 277V Operation)

ORDERING INFORMATION

Example: C-WP-B-RDC-L-40K-08

C-WP	B	RDC	LUMEN PACKAGE		CCT	DB
PRODUCT	SERIES	TYPE				COLOR
C-WP	B	RDC Flared Cutoff	1L 1500L 12W	10L 10500L 77W	40K 4000K (Neutral White)	08 Dark Bronze
			3L 3000L (4000K, 3100L 5000K) 22W	20L 20500L (4000K, 2100L 5000K) 44W	50K 5000K (Cool White)	
			6L 6000L (4000K, 6300L 5000K) 47W			
			CERTIFICATIONS:			

For informational purposes only. Default is subject to change. *See lighting.csa.com/warranty for details.

For informational purposes only. Default is subject to change. *See lighting.csa.com/warranty for details.

2

XPS SERIES EXTERIOR LED WALL PACK

C-WP-B-RDC Series

C-WP-B-RDC-1L-3L

C-WP-B-RDC-6L-10L

C-WP-B-RDC-20L

SERIES OVERVIEW

DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	RECOMMENDED SPACING
(C-WP-B-RDC-1L) 3/8" W x 6" H x 5 1/4" D	2.9 lbs.	12-20 feet	2-3x mounting height
(C-WP-B-RDC-3L) 3/8" W x 6" H x 5 1/4" D	2.58 lbs.	12-20 feet	
(C-WP-B-RDC-6L) 1 1/4" W x 9 1/4" H x 7" D	5.65 lbs.	12-20 feet	
(C-WP-B-RDC-10L) 1 1/4" W x 9 1/4" H x 7" D	6.01 lbs.	12-20 feet	
(C-WP-B-RDC-20L) 1 3/8" W x 9 1/4" H x 7 3/8" D	13.60 lbs.	12-25 feet	

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C-WP-B-RDC Series

FIXTURE SPECIFICATIONS

HOUSING

LENS ASSEMBLY

MOUNTING

Heavy duty die-cast aluminum with a durable powder coat dark bronze finish

Integrated UV stabilized polycarbonate lens, designed to control the light and offer the most efficiency on the product.

1/2 inch threaded knockouts provided for conduit entry or mount over a (necessed) box. Knockouts are located on both sides and the top of the back box.

ELECTRICAL PERFORMANCE

OPERATING TEMPERATURE RANGE	ESTIMATED L70 LIFETIME @ 25°C (77°F)	POWER FACTOR	TOTAL HARMONIC DISTORTION
-40°F to 104°F (-40°C to 40°C)	>100,000 Hours	> 0.9	<20%

SYSTEM WATTS (120-277V)

	120V	208V	240V	277V
12W	0.2	0.02	0.01	0.1
22W	0.25	0.08	0.06	0.6
47W	0.8	0.5	0.4	0.25
77W	0.9	0.6	0.5	0.35
144W	1.8	1.3	1	0.8

WARRANTY AND CERTIFICATIONS

WARRANTY

eLUS LISTED

DLC

DIMMABLE

5 Year Limited*

Wet Locations

Premium 5.1

Yes, 0-10V Dimmable

ACCESSORIES

UNIVERSAL BUTTON PHOTOCELL (120V-277V)

SKU: IL-423CZ

USC Photocell is field installed and drilling of the back box is required.

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For informational purposes only. Default is subject to change. *See lighting.csa.com/warranty for details.

C-WP-B-RDC Series

ISO PLOT CHART

C-WP-B-RDC-2L-50K

Mounting height: 15'

C-WP-B-RDC-6L-50K

Mounting height: 15'

Note: All published photometric testing performed to IES LM-79-08 standards. Fixture's luminaires were computed in a single representative fixture. Foot candle levels are also indicated. Visit [www.lighting.csa.com](#) for the latest EPA data.

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Catalog # _____ Project: _____

Prepared By: _____ Date: _____ Type: _____

Slice Medium (SLM)

Outdoor LED Area Light

IP66

IK08

OVERVIEW

Lumen Package: 9,000 - 48,000

Wattage Range: 63 - 401

Efficiency Range (LPW): 112 - 156

Weight (shipping): 30 (13.6)

FEATURES & SPECIFICATIONS

Construction

Electrical

Optical System

Installation

Warranty

Listings

QUICK LINKS

Ordering Guide

Performance

Photometrics

Dimensions

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Slice Medium Outdoor LED Area Light

ORDERING GUIDE

Back to Quick Links

Typical Order Example

SLM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

Typical Order Example

SLM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

Accessories Ordering Information*

Controls Accessories

Mounting Accessories

Shielding Options

Shielding & Miscellaneous Accessories

FOOTNOTES:

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.

2. Not available on "Type B" distribution.

3. Contact factory for availability.

4. IMBPT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.

5. Control device or shading cap must be ordered separately. See Accessory Ordering Information.

6. Accessories are shipped separately and field installed.

7. Fixing must be located in hand hole or pole.

8. "SLC" Service Finish. See Finish options.

9. Only available with ALSCALSCN control options.

10. Fixing must be located in hand hole or pole. See Shading Accessory Guide for compatibility.

11. Only available in 6L and 12L Lumen Packages. Consult factory for lead time and availability.

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Slice Medium Outdoor LED Area Light

OPTICS ROTATION

ACCESSORIES/OPTIONS

Top View

Optics Rotated Left

Straight

Optics Rotated Right

EXAMPLE

Use Type R (Optics Rotated Right)

Use Type L (Optics Rotated Left)

Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street-side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with Integral Louver (L)

Luminaire Shown with IMBPT Option

7 Pin Photoelectric Control

7-pin ANSI C136-A1-2013 control receptacle option available for 7 twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Fixture Shown with CR7P

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Slice Medium Outdoor LED Area Light

PHOTOMETRICS (CONT.)

SLM-LED-30L-SIL-SW-40-70CRI

LUMINAIRE DATA

ISO FOOTCANDLE

POLAR CURVE

25' Mounting Height/ 25' Grid Spacing

5 FC 2 FC 1 FC 0.5 FC

SLM-LED-30L-SIL-FTA-40-70CRI

LUMINAIRE DATA

ISO FOOTCANDLE

POLAR CURVE

25' Mounting Height/ 25' Grid Spacing

5 FC 2 FC 1 FC 0.5 FC

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6 OSQ SERIES LED AREA/FLOOD

PHO1.4

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L22-000 - LAKE COUNTRY TOY BOXES - 07/12/2022

July 12, 2022

Mr. Timothy G. Barbeau. P.E., P.L.S.
 Town of Delafield Engineer

RE: Response Memorandum 229 Lynndale Road LLC Development Plan Review Memo

Project No.: L22-046

Dear Mr. Barbeau:

The following revisions to the landscape and lighting/photometric plans are as follows based on comments received dated the June 24th 2022 memorandum:

Landscape Plan

14. The landscape plan provides substantial landscaping along the STH 16 frontage; however, the plan shows existing vegetation that was not installed as part of the original Cassandra's development. The plan should indicate where vegetation exists currently and the proposed vegetation.

Response: Phase I plant material was shown for reference only for consistency of design and plant material and is not listed in the proposed plant material table and is shown "lightly" as not to imply as new or installed. A note saying "Phase I plant material for reference only" has been added to the plans

15. The renderings for the entire site indicate a tree lined separation between the Toy Box development and Cassandra's. The Town is in favor of separating the two businesses for security reasons. Please include the tree line as shown or consider a decorative fence between the two properties.

Response: Tree line of upright evergreens between the two businesses has been added.

Lighting Plan

16. The Town is in the process of developing an outdoor lighting ordinance. That ordinance states that the total installed lumen limit is 2.5 lumens per square foot of hardscape. Sheet C1.0 indicates that Lot 2 has 90,586 square feet of paved surface; thus the maximum amount of lumens allowed is 226,465 lumens. The proposed lighting fixtures indicate the total amount of lumens to be 324,000.

Response: The unapproved ordinance requirement was unavailable to us during the schematic design phase. Fixtures have been revised to meet/be less than the overall site lumen output

17. Parking lot lighting shall maintain a 2 foot-candle average and a uniformity ratio of 12:1.

Response: An additional sheet has been added showing paved areas only calculations and a separate table for paved area statics.

18. The pole mounted luminaries cannot exceed 20 feet in height from ground level (proposed height is 18.5 feet)

Response: Luminaire Schedule note #1 states: Light pole listed is 16'-0" tall on a 2'-6" base (Shown) no change required

19. Lighting shall be reduced to 25% of the total illumination by 10 PM. Indicate how this will be accomplished.

Response: The hours of operation and illumination reduction if any should be listed and spelled out in the plan method of operation.

20. Luminaries attached to buildings shall not exceed 16 feet in height.

Response: Luminaire Schedule note #7 states: All building mounted light fixtures are to be coordinated with the architectural drawings. The mezzanine elevation above the overhead door is listed to be 112'-0". The overhead door fixtures will be mounted below the mezzanine, recessed or on the vertical surface

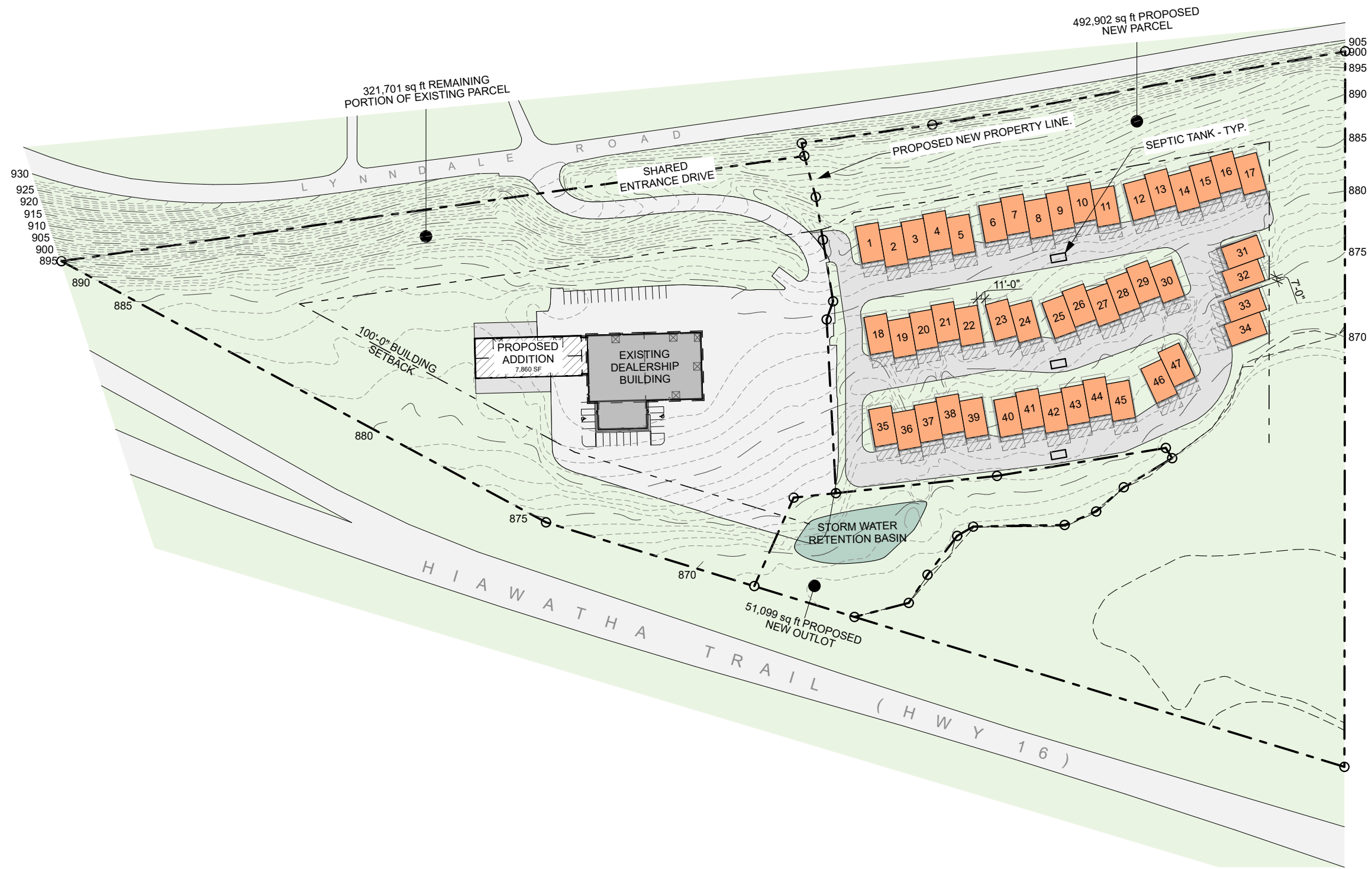
21. Please revise the plans to meet these requirements and include all necessary information as part of the plans.

If you should have any further questions or comments, please feel free to contact me directly.

Respectfully,

Michael C. Davis

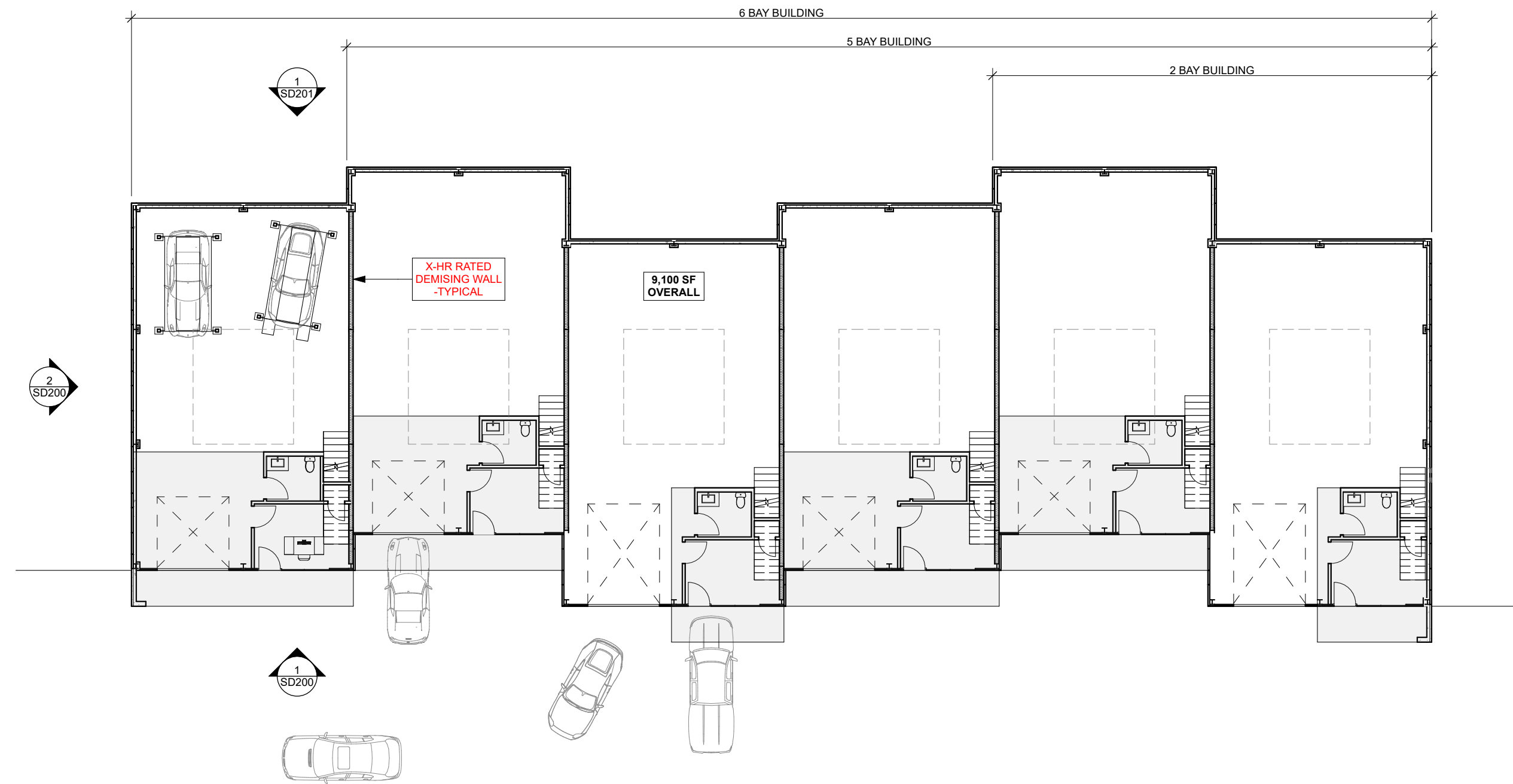




SD101

TYPICAL BUILDING
PLAN

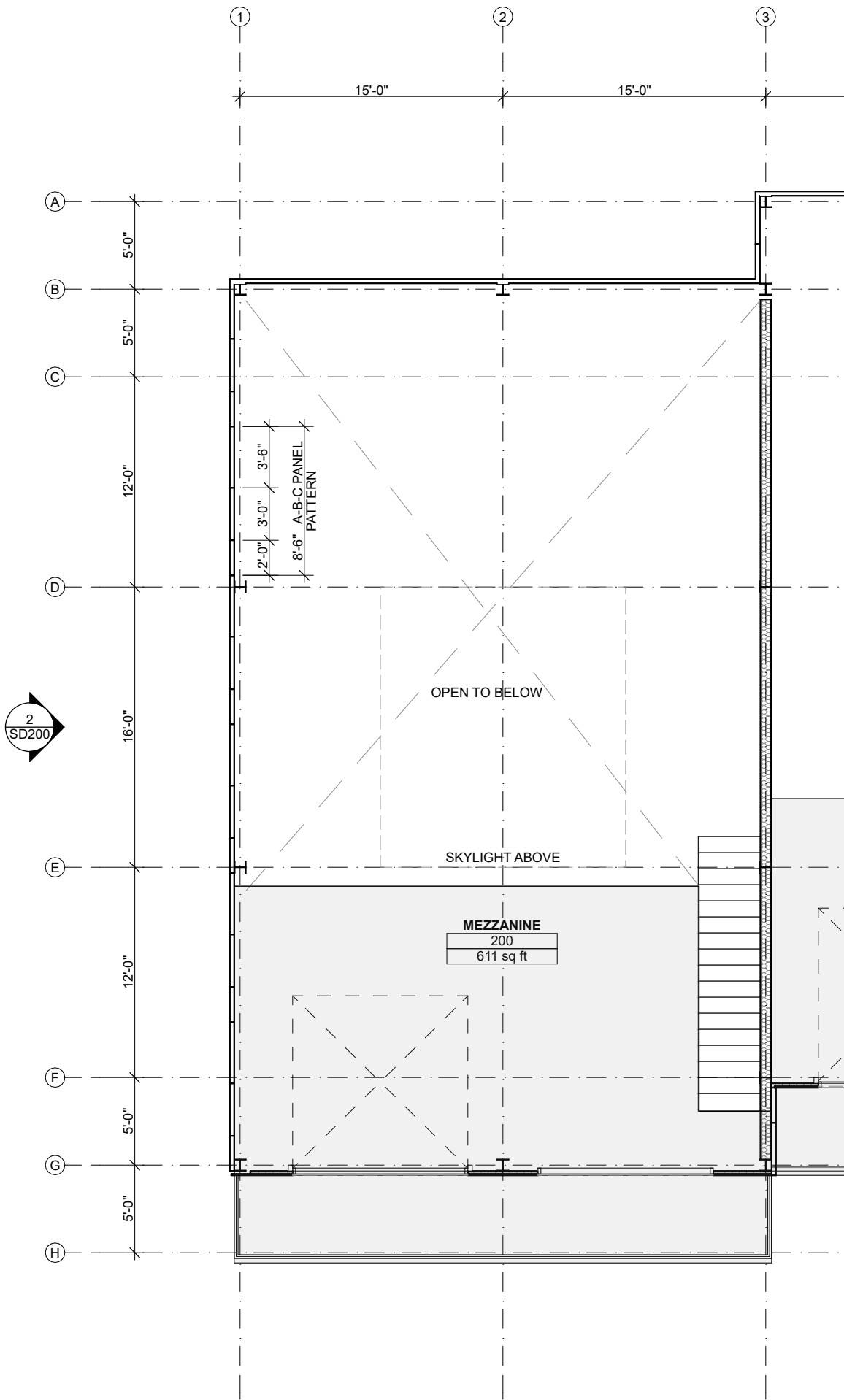
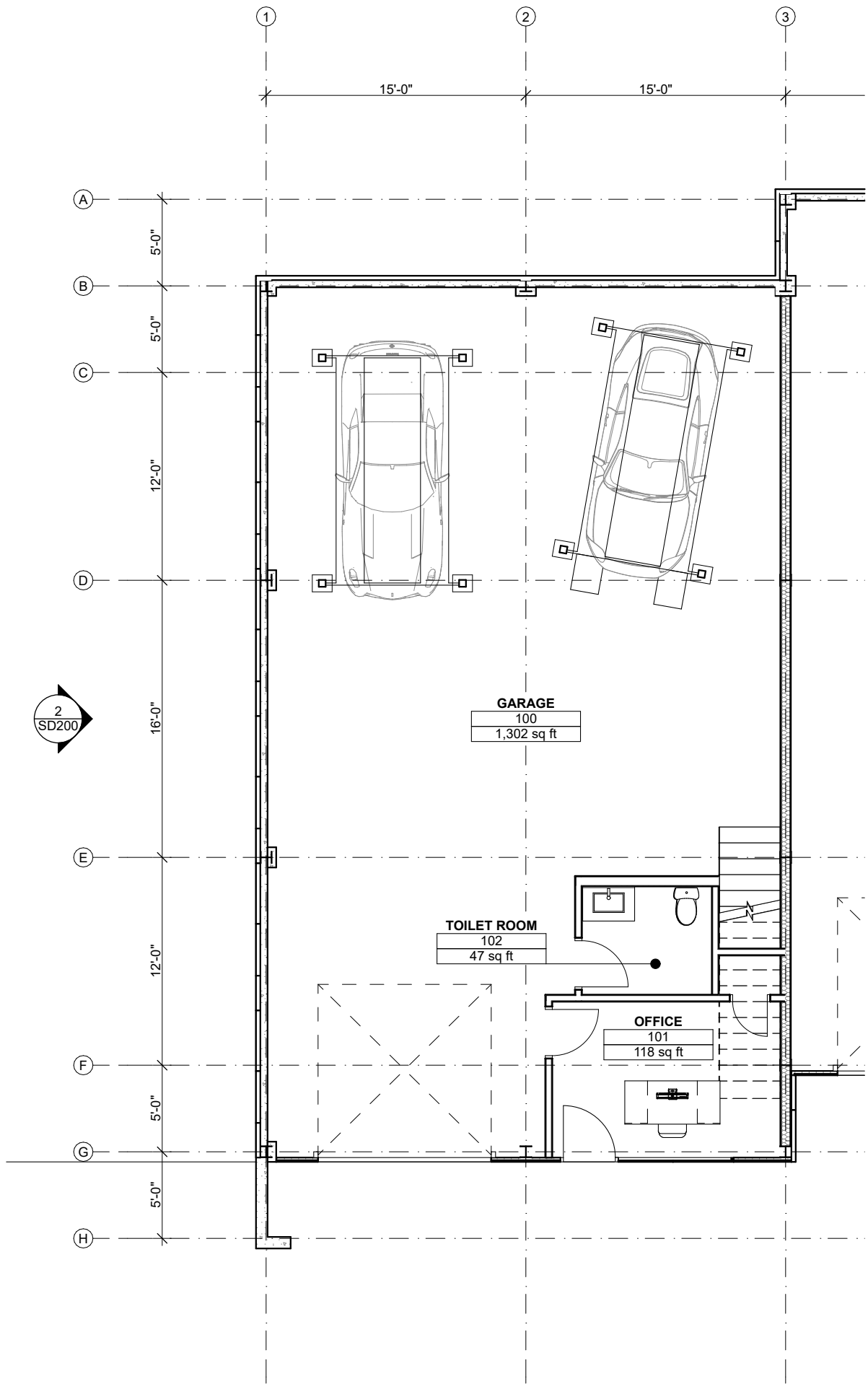
SCALE: 1/16" = 1'-0"

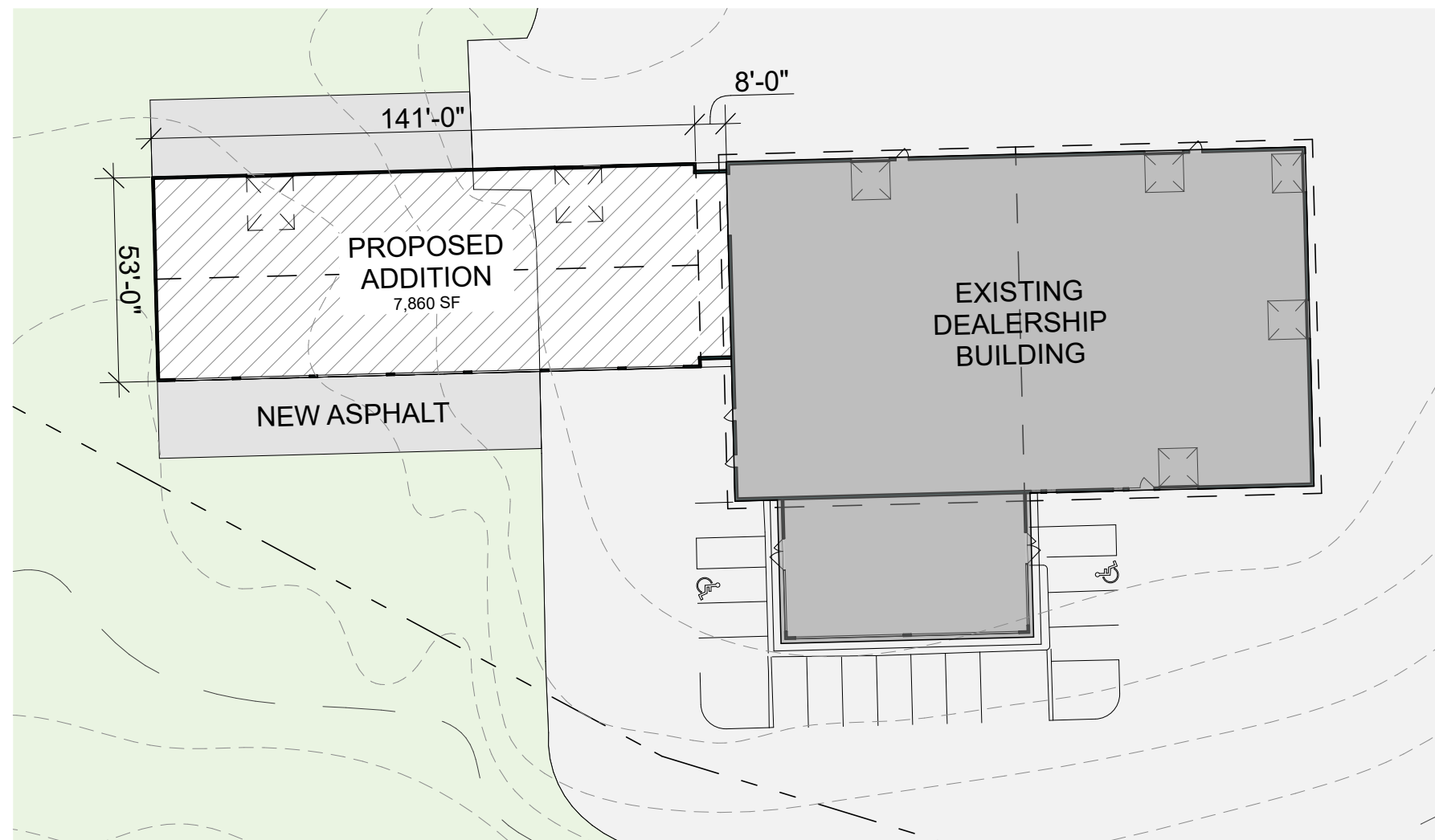


SD102

TYPICAL FLOOR PLANS

SCALE: 1/8" = 1'-0"





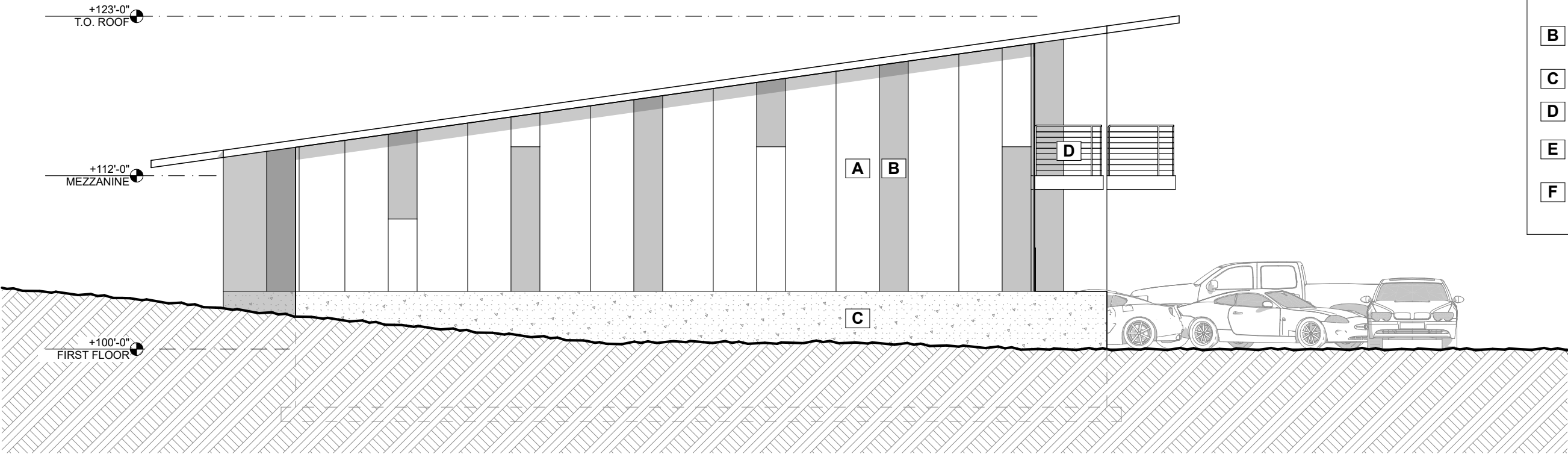
KEY NOTES - MATERIALS

- A** INSULATED METAL PANEL - TWO COLORS
BASIS OF DESIGN:
KINGSPAN KS SERIES WALL PANEL - MICRO RIB
- B** TRANSLUCENT PANEL
BASIS OF DESIGN:
KINGSPAN UNIQPAD TRANSLUCENT WALL SYSTEM
- C** CONCRETE FOUNDATION
- D** CABLE RAILING
BASIS OF DESIGN: VIEWRAIL
- E** GLASS PANEL OVERHEAD DOOR
BASIS OF DESIGN: CLOPAY AVANTE
- F** METAL ROOFING PANEL
BASIS OF DESIGN:
KINGSPAN KINGSEAM STANDING SEAM ROOF PANEL





METAL PANEL COLORS



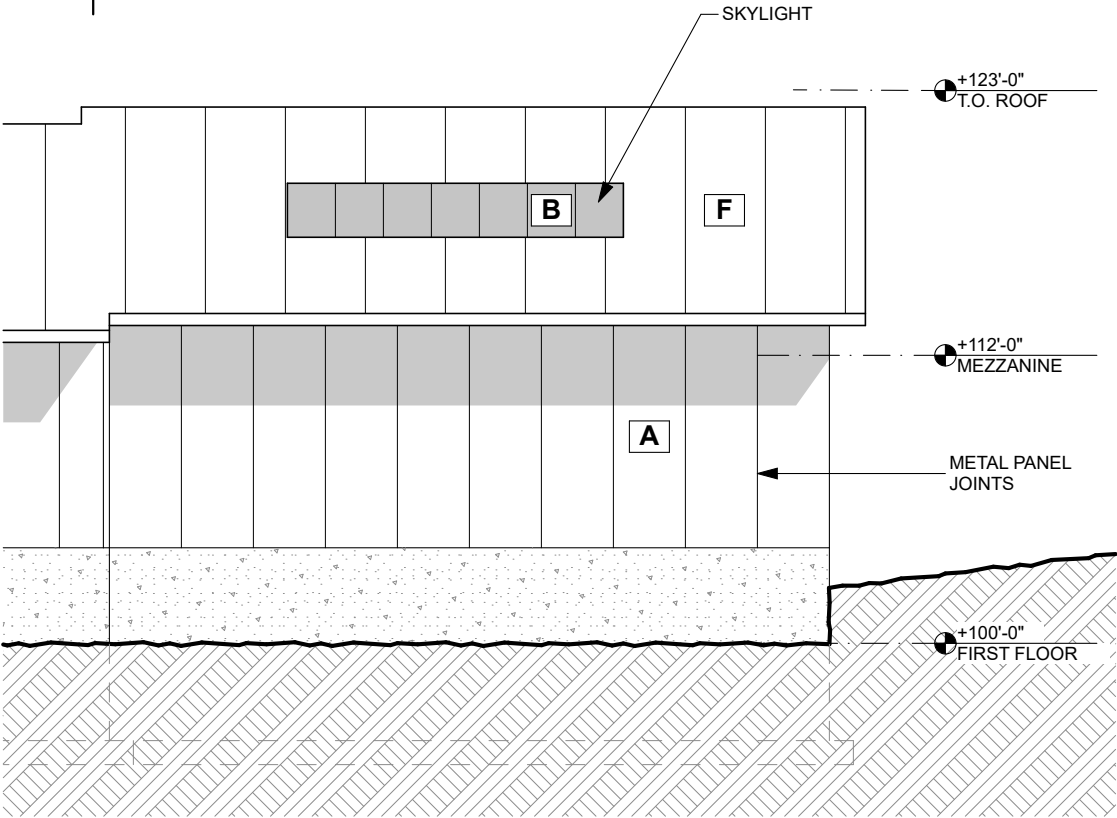
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- B** TRANSLUCENT PANEL
BASIS OF DESIGN:
KINGSPAN UNIQPAD TRANSLUCENT WALL SYSTEM
- C** CONCRETE FOUNDATION
- D** CABLE RAILING
BASIS OF DESIGN: VIEWRAIL - COLOR: BLACK
- E** FROSTED GLASS PANEL OVERHEAD DOOR
BASIS OF DESIGN: CLOPAY AVANTE - COLOR: BLACK
- F** METAL ROOFING PANEL
BASIS OF DESIGN:
KINGSPAN KINGSEAM STANDING SEAM ROOF PANEL





METAL PANEL COLORS



KEY NOTES - MATERIALS

- A** INSULATED METAL PANEL - TWO COLORS
BASIS OF DESIGN:
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- F** METAL ROOFING PANEL
BASIS OF DESIGN:
KINGSPAN KINGSEAM STANDING SEAM ROOF PANEL





SD901

FRONT VIEW



L A K E C O U N T R Y T O Y B O X E S



9205 W. Center Street
Suite 214
Milwaukee, WI 53222
(414) 443-1312

Town Review Response Memorandum:

To: Town of Delafield

Project: Toy Box – 229 Lynndale Road LLC Development

Project Address: 229 Lynndale Road, Delafield

Comments Received: June 22nd, 2022

Note: Comment responses pertaining to CJ Engineering are shown in *Red Italics*.
Comment responses pertaining to Galbraith Carnahan Architects are shown in *Blue Italics*.

Plans Reviewed:

1. Civil Plans (3 sheets)
By: CJ Engineering
Dated: 06-14-2022
2. Certified Survey Map
By: CJ Engineering
Submitted Date: 06-14-2022

Sheet C1.0

1. Include a vicinity sketch.
Response: Vicinity map has been provided on C1.0
2. Include name and address of property owner
Response: Name and address of current property owner has been provided on the site plan.
3. Indicate location of access easement on the site development plans
Response: Access easement has been shown on the site plan
4. Indicate general dimensions of buildings – if all the same, then show dimensions with (typical).
Response: dimensions have been provided.
5. Locate the holding tank and appurtenances on the Cassandra's site; does it conflict with the proposed addition?
Response: Holding tank have been shown on the site plan, addition does not conflict with tank.
6. Per code, there needs to be 3 feet of green space between the lot line and the edge of asphalt. The plans show that the asphalt is being cut along the property line.
Response: Sawcut line has been revised as requested.
7. Indicate location of relocated dumpster enclosure and fencing and indicate materials (Cassandra's).
Response: Location Has been indicated on revised plan.
8. Will parking areas in front of the condominium buildings be marked or just be unmarked asphalt?
Response: Parking areas will be unmarked
9. Extend curb to buildings – otherwise vehicles will cut the corners and damage the turf.
Response: Curbs have been extended to the buildings.

Sheet C2.0

10. Add symbols and description for what "M" "EP" and "DS" represent.

Response: Symbols either added to the notes section or shown on the legend. Symbols and descriptors are common on most civil plans. M = metal light pole, EP = Electric pedestal, DS = Door Sill.

11. Pipe sizes and slopes should be shown.

Response: Pipe sized and slopes have been shown as requested. Storm sewer has been sized for the 100 year storm event.

12. Include rip-rap flumes for end of curb drainage south of Buildings 45 and 46; and the pipe discharging into the stormwater pond between buildings 39 and 40.

Response: Rip Rap has been added to the plan in applicable locations.

13. Consider redirecting the water coming from the discharge pipe between buildings 39 and 40 to the southwest for better flow into the pond. I am concerned that the velocity of the water at the current discharge point will erode the sides of the pond. The hydraulics of the system may work better if a manhole is installed before the pipe gets to the pond and extend the pipe to the southwest.

Response: Manhole has been added to redirect water to the southwest as requested.

Landscape Plan

14. The landscape plan provides substantial landscaping along the STH 16 frontage; however, the plan shows existing vegetation that was not installed as part of the original Cassandra's development. The plan should indicate where vegetation exists currently and the proposed vegetation.
15. The renderings for the entire site indicate a tree lined separation between the Toy Box development and Cassandra's. The Town is in favor of separating the two businesses for security reasons. Please include the tree line as shown or consider a decorative fence between the two properties.

Lighting Plan

16. The Town is in the process of developing an outdoor lighting ordinance. That ordinance states that the total installed lumen limit is 2.5 lumens per square foot of hardscape. Sheet C1.0 indicates that Lot 2 has 90,586 square feet of paved surface; thus the maximum amount of lumens allowed is 226,465 lumens. The proposed lighting fixtures indicate the total amount of lumens to be 324,000.
17. Parking lot lighting shall maintain a 2 foot-candle average and a uniformity ratio of 12:1.
18. The pole mounted luminaries cannot exceed 20 feet in height from ground level (proposed height is 18.5 feet)
19. Lighting shall be reduced to 25% of the total illumination by 10 PM. Indicate how this will be accomplished.
20. Luminaries attached to buildings shall not exceed 16 feet in height.
21. Please revise the plans to meet these requirements and include all necessary information as part of the plans.

Architectural Plans

22. Provide specific details (catalog cut) for railing
Response: See elevation sheets A200-201.
23. Indicate specific colors for all materials
Response: See elevation sheets A200-201.
24. Can wall packs for lighting be mounted under the outdoor deck to minimize light pollution?

Plan of Operation

25. Since the storage condominiums are being considered a commercial development, a plan of operation is required. The plan of operation should include items such as property use, days and hours of operation, security (gates for both businesses with key pad locks were proposed previously – these should be included on the plans), noise, odors, parking, signage, outdoor music, sewage disposal, chemicals on site, etc.
26. Conditions of approval being considered include no outside storage, no roof mounted mechanicals unless screened (screening to be approved by the Plan Commission), must follow all applicable codes regarding food preparation, outdoor grills and any other potential hazards; no businesses can be operated out of the buildings; buildings cannot be for rent; Plan Commission must approve garage door heights greater than 9 feet (per code section 17.06 3. C.)(this can be accomplished at the time of architectural approval).

General Comments

27. Please provide an erosion control plan.

Response: Erosion Control Plan has been provided.

28. Waukesha County will perform the Stormwater Management Plan review and issue a stormwater permit. The Plan Commission wants to have all the information, including the County's comments/recommendation prior to the Town considering the matter.

Response: SWMP has been submitted to the County, comments are being addressed.

29. Provide approval information from Waukesha County Public Works Department regarding allowance of additional traffic to and from a single access on CTH JK. Also, does the County require any roadway improvements at the location of the access?

Response: Approval email has been provided, no roadway improvements are required.

30. Any signage for the storage condominium development requires Plan Commission approval.

Response: this is understood, Owner to be notified.

Certified Survey Map

Sheet 1 of 5

1. Remove the words. "Bounded and Described as Follows" in the property location description on the top of each page.

Response: Property location description has been revised as requested.

2. The northernmost bearing of the line between Lots 1 and 2 indicate N 51°51'65" W. The 65 seconds cannot be correct.

Response: Bearing has been revised. Correct Bearing Reads N 16°51'18" W

3. Is there any reason why the line between Lots 1 and 2 cannot be a straight line?

Response: line between lot 1 and 2 has been determined based on necessary lot line building setbacks in order to maximize the site.

4. The legend shows "found" pipe to be a circle with a black dot in the middle. The property line between Lots 1 and 2, and around Outlot 1 appear to be "found" which makes no sense. Please make the symbolism or legend more understandable.

Response: Legend has been revised.

5. The Waukesha County Shoreland and Floodland Protection Ordinance jurisdiction limits should be indicated on the map.

Response: revised note has been added to the CSM

6. Primary Environmental Corridor boundaries should be included on the map (southeast corner). *Response: primary environmental corridor boundaries have been shown on the map.*

Sheet 2 of 5

7. The access easement should be described in a separate easement document. I have attached a sample easement agreement for assistance in preparing the document. Access should be granted not only between owners, but for access by Waukesha County and Town staff for access to the stormwater pond.

Response: Draft access agreement has been provided.

Sheet 3 of 5

8. Remove the reference to "Brook Investments Global Limited" and "the City of Delafield."

Response: Reference has been removed as requested.

General

9. I was not able to close the exterior or any of the interior lots. Please review. If you have closure computations, please pass them on to me.

Response: Bearings and distances have been reviewed and revised. Exterior and interior now close.

10. All sheets need to be stamped, signed and dated.

Response: All sheets will be stamped signed and dated for recording.

11. The Outlot ownership should be noted on the plat. Is it a shared ownership or to be owned by one of the two lot owners? It should be made clear on the CSM.

Response: Owner to provide response.

12. The County will need to review the CSM. I anticipate that they will require restrictions related to groundwater. If so, notes should be added to the CSM to incorporate the County's

comments.

Response: This is understood, CSM will be provided to the County for their review and comments. Any comments will be addressed.

13. Indicate any building setback requirements on the CSM from the wetland or floodplain.

Response: Wetland setback have been shown on the revised CSM.

14. Since this land is adjacent to a State Trunk Highway, I believe that a TRANS 233 review is required.

Response: This is not required as a Trans 233 review is only applicable for subdivisions.

Plan Commission Report for August 2, 2022

Town of Delafield – Lighting Ordinance Agenda Item No. 5. C.

Applicant:	Town of Delafield
Project:	Lighting Ordinance
Requested Action:	Discussion/Input on proposed ordinance
Zoning:	N/A
Location:	N/A

Report

Town staff, with input from members of the Plan Commission have prepared a draft ordinance to address lighting in the Town. The proposed ordinance is a compilation of several community lighting ordinances reviewed and the Dark Sky Association model ordinance. I will walk through the ordinance at the meeting; however, I wanted to provide some context to the ordinance development.

As with all ordinances, it is important to define the purpose and intent of the ordinance in order for proper interpretation by those that use the ordinance. The purpose, in brief, is to minimize light trespass, regulate and reduce nuisance lighting and to establish proper lighting levels for developments. The Town does not have any standards in the code at this time to review lighting submittals and I have been basing my review comments on generally accepted practices in other communities.

The ordinance establishes lighting zones, based on various zoning districts. Each zone has different lighting requirements and standards.

The code addresses total light output standards for a development.

The code also considers special uses, permit submittal requirements and what types of lighting is prohibited.

Lighting can be subjective – glare to one person, may not be glare to another person. Or the intensity of desired safety light may be an annoyance to some people. We may not be able to capture every situation in this ordinance; however, we can use the purpose and intent to address issues that currently we have no objective way to address.

Tim Barbeau, Town Engineer
July 28, 2022

Outdoor Lighting

(July 20, 2022)

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- (3) Definitions
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- (7) General Regulations for All Outdoor Lighting
- (8) Zone 1 Non-Residential Outdoor Lighting Requirements
- (9) Zone 2 Residential Outdoor Lighting Requirements
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- (11) Special Uses
- (12) Light Trespass
- (13) Permits
- (14) Prohibitions

(1) **Purpose and intent.** The purpose of this section to minimize "light trespass" or "obtrusive light," or more specifically to regulate and reduce the nuisance caused by unnecessary intensity of artificial illumination of property and buildings, to mitigate the impact on ecosystems, to promote the safety and welfare of its citizens by restricting glare producing sources of light and generally establish proper levels of lighting.

(2) **Applicability**

(a) The regulations within this Chapter shall apply to all luminaries installed, erected or maintained in all districts and be required as follows:

- All new land uses, developments, homes, buildings, structures.
- Building additions of 25 percent or more in terms of gross floor area either with a single addition or cumulative additions, shall meet the requirements of this section for the entire property.
- Additions of any size that increase the number of parking spaces by 25 percent.
- Building additions less than 25 percent shall meet the provisions of this section for any new outdoor lighting installed.
- Any change of use to an existing building or structure, except in the case of a single tenant in a multi-tenant building, shall meet the requirements of this section for the entire property to the greatest extent possible as determined by the Plan Commission.

(3) **Definitions.** The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Acreage, net. The area of a parcel being developed for a development project including the open space required by the zoning district.

Classifications of lighting. Lighting shall be classified in one of the following categories:

- (a) *"Functional" lighting.* All outdoor lighting used for, but not limited to, outdoor sales or eating areas, assembly, advertising and other signs, recreational facilities and other similar applications where color rendition is important to preserve the effectiveness of the activity.
- (b) *"Safety" lighting.* All outdoor lighting used for, but not limited to, illumination for walkways, roadways, equipment yards, parking lots and outdoor security where general illumination for safety or security of the grounds is the primary concern.
- (c) *"Decorative" lighting.* Any outdoor lighting used for decorative effects including, but not limited to, architectural illumination, flag and monument lighting, and illumination of trees, bushes, etc.
- (d) *Multi-class lighting.* Any outdoor lighting used for more than one purpose, such as security and decoration, such that its use falls under the definition of two or more classes as defined above. All multi-class lighting shall comply with the most restrictive class of which it falls under.

Color Rendition. How a light source makes the colors of objects appear to the human eye and how subtle variations in color shades are revealed.

Development project. Any residential, commercial, industrial or mixed use subdivision plan or development plan which is submitted to the town for approval.

Direct illumination. Illumination resulting from light emitted directly from a lamp or luminaire, not light diffused through translucent signs or reflected from other surfaces such as the ground or building faces.

Foot-candle. A unit of light expressed in lumens per square foot.

Fully shielded fixture or full cutoff fixture. An outdoor light fixture shielded in such a manner that 100 percent of all light emitted by the fixture, either directly from the lamp or indirectly from the fixture, is projected below the horizontal plane as determined by photometric test or certified by the manufacturer.

Glare. Intense light from an illumination source which may result in visual impairment or discomfort. Also, a light ray emanating directly from a source such that it falls directly upon the eye of the observer.

Hardscape. Permanent hardscape improvements to the site including parking lots, drives, entrances, curbs, ramps, stairs, steps, medians, walkways and non-vegetated landscaping that is 10 feet or less in width. Materials may include concrete, asphalt, stone, gravel, etc.

Height. The height of a light structure shall be the vertical distance between the uppermost extremity of any light structure, pole or supporting member and the grade level.

Light source. A single artificial source of luminescence.

Light trespass. Light emitted by a luminaire that shines beyond the boundaries of the property on which the luminaire is located.

Lumen. The unit used to measure the actual amount of light which is produced by a lamp. For all lamp types and sources, the initial output, as defined by the lamp or source manufacturer, is the value to be considered. For avoidance of doubt, a lumens to watts comparison table is below:

Lumens	Incandescent Watts	Fluorescent/LED Watts
375lm	25W	6.23W
600lm	40W	10W
900lm	60W	15W
1125lm	75W	18.75W
1500lm	100W	25W
2250lm	150W	37.5W
3000lm	200W	50W

Luminaire. The complete lighting unit consisting of a lamp or lamps together with the parts designed to distribute the light, to position and protect the lamps and to connect the lamps to the power supply.

Measurement. For the purposes of this section, unless otherwise stated, illumination levels shall be measured at a point three feet above grade with the measuring device aimed directly at the light source(s) being measured. Measurements shall be taken using baffles or shields to separate the sources(s) under review from other existing or ambient sources such as streetlights, in a manner that eliminates to the greatest extent possible other light sources.

Opaque. A material that does not transmit light from an internal illumination source through that material.

Outdoor light fixtures. Outdoor electrically powered illuminating devices, outdoor lighting or reflective surfaces, lamps and similar devices, either permanently installed or portable, which are used for illumination or advertisement. Such devices shall include, but are not limited to, linear strip lights, search lights, spot lights and flood lights for:

- (a) Buildings and structures;
- (b) Recreational areas;
- (c) Parking lot areas;
- (d) Landscape and architectural lighting;
- (e) Signs (advertising or other);
- (f) Product display areas.
- (g) Private roadway and driveway lighting
- (h) Building overhangs and open canopies
- (i) Any similar use.

Outdoor light output, total. The maximum total amount of light, measured in lumens, from all outdoor light fixtures. For all lamp types and sources, the initial output, as defined by the lamp or source manufacturer, is the value to be considered.

Partially shielded fixture. An outdoor light fixture shielded in such a manner that more than zero but less than ten percent of the light emitted directly from the lamp or indirectly from the fixture is projected at angles above the horizontal, as determined by photometric test or certified by the manufacturer.

Shielding. A lighting fixture constructed in such a manner that all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire, is shielded from view from adjacent properties. Any structural part of the light fixture providing this shielding must be permanently affixed.

Temporary lighting. Lighting which does not conform to the provisions of this ordinance and which will not be used for more than one 30-day period within a calendar year, with one 30-day extension, unless a longer extension is granted by specific approval by the Plan Commission. Temporary lighting is intended for uses which by their nature are of limited duration; e.g., civic events, or construction projects, not including exempt lighting listed in subsection (n). Temporary lighting shall be approved by the Plan Commission.

Uniformity ratio. The ratio of the average lighting level to the minimum lighting level.

Use, abandonment of. The relinquishment of a property, or the cessation of a use or activity by the owner or tenant for a period of six months, excluding temporary or short term interruptions for the purpose of remodeling, maintaining, or otherwise improving or rearranging a facility. A use shall be deemed abandoned when such use is suspended as evidenced by the cessation of activities or conditions which constitute the principle use of the property.

Watt. The unit used to measure the electrical power consumption of a lamp, or when describing a fixture, the fixture input wattage before ballast losses.

(4) **Establishment of zones.** Lighting zones are defined by zoning district.

- (a) *Zone 1*— Lands zoned B-1, B-2, B-3, M-1 and P-1

- (b) *Zone 2*— Lands zoned R-1, R-1A, R-2, R-3, A-2 (residentially used land), A-3 and all shoreland areas.
- (c) *Zone 3*—A-1, A-E, A-2 (agriculturally used land with or without a residence).
- (d) For uses that are allowed by conditional use in various zoning districts, the Zone shall be determined by the Plan Commission and based on the proposed use and surrounding area.
- (5) ***Shielding and exceptions.*** All nonexempt outdoor lighting fixtures shall have full shielding to prevent direct view of the lamp or reflector as viewed from anywhere along the property line or above the horizontal, except for the following:
- (a) Functional and Safety lighting fixtures with an initial lamp output at or below 500 lumens per fixture may be unshielded provided that the fixture is screened from public view.
- (b) Functional and safety lighting fixtures with an initial lamp output at or below 1,000 lumens per fixture may be partially shielded provided that the fixture is screened from public view.
- (6) ***Total outdoor light output standards.*** Total outdoor lighting lumen output shall not exceed the limits in Table 1, given in lumens per square foot of hardscape. The following shall be included in this limit:
- (a) Indoor lighting, located within 12 feet of window glass, that is used for or contributes to illumination of displays, merchandise or signage shall be included in the total outdoor light output, by including 25 percent of the contributing as though they produced only one-quarter of the lamp's rated lumen output. If the indoor lighting is directed through the window glass or otherwise used for exterior illumination then the full 100 percent of the lamp's rated lumen output shall be included.
- (b) Outdoor lighting fixtures that are fully shielded and installed under canopies, roof eaves and building overhangs are counted toward these limits according to the following:
1. Outdoor light fixtures installed under canopies, building overhangs, or roof eaves where the center of the lamp or luminaire is located at least five feet but less than ten feet from the nearest edge of the canopy or overhang are to be included in the total outdoor light output, by including 25 percent of the contributing lamp's rated lumen output;
 2. Outdoor light fixtures located under the canopy and ten or more feet from the nearest edge of a canopy, building overhang, or eave are to be included in the total outdoor light output, by including ten percent of the contributing lamp's rated lumen output.

Table 1 Total Outdoor Light Output Standards

Lighting Zone	Allowable lumens per square foot of hardscape
1	2.5 lumens
2	1.25 lumens
3	.5 lumens

- (7) ***General regulations for all outdoor lighting.***

All outdoor lighting fixtures shall be designed, located and specified with shielding and shall create cut off of light source view so that no glare or illumination is cast outside the boundaries of the property where the luminaire is located so as to constitute light trespass. No light levels shall be greater than 0.5 foot candles measured at a height of 3 feet above the grade at a property line or high water mark of a lake on which the luminaire is located, except as set forth herein. Outdoor lighting shall not be aimed toward or directed at a neighboring property

(a) *All classes of lighting.*

1. Luminaries attached to a building shall not exceed 16 feet in height from grade.

(b) *Functional lighting.*

1. The maximum illumination of any interior or exterior illuminated sign, including subdivision signs, shall not exceed 15 foot-candles when measured with a light meter held perpendicular to the sign at a distance of 12 inches.
2. The maximum illumination of any vertical building surface shall not exceed 10 foot-candles.

(c) *Safety lighting.*

1. Parking lot lighting shall maintain a two foot-candle average and a uniformity ratio of 12:1.
2. The height of parking lot light structures may by right be, but shall not exceed, the greater of 20 feet or 75 percent of the height of the principal structure; provided in no case shall the height of any parking lot light structure exceed 20 feet or shall any structure located within 100 feet of a residential use or a undeveloped residentially zoned property exceed a height of 16 feet.
3. Light structures intended for pedestrian traffic shall not exceed 10 feet in height and have average illumination levels between 0.5 and one foot-candle.
4. Bollards shall not exceed 42 inches in height and 8,500 lumens per fixture with 0 percent of lumen output at or above the horizontal plane.
5. Security lighting shall not exceed 25 percent of the total allowed lumen output.
6. Lighting at entrance and exit doors shall not exceed 1.5 foot-candles at the floor or grade level.

(d) *Decorative lighting.*

1. Only the United States flag and the state flag shall be permitted to be illuminated from dusk to dawn. Other flags may be illuminated if they are located on the same pole or part of a group or array that includes the United States or state flag. Flag lighting sources shall not exceed 10,000 lamp lumens per flag pole and shall be shielded to prevent viewing the fixture opening, and designed to apply 80 percent of the fixture output onto the area of the flag.
2. Lighting of aesthetic features including but not limited to hardscape and landscape features, fountains, displays, and statuary shall not exceed 500 lumens per fixture.
3. The maximum illumination of any vertical building surface or facade shall not exceed 10 foot-candles.

(8) *Zone 1 Non-residential outdoor lighting requirements*

- (a) Total outdoor lighting lumen output shall not exceed the limits in Table 1.
- (b) All outdoor luminaries shall be reduced to 25% of total illumination by 10 p.m. with the following exceptions:
 - 1. Commercial, industrial and institutional uses which remain open after 10:00 p.m. as permitted by zoning regulations or conditional use requirements shall be allowed to keep their approved outdoor lighting on for the period of time they remain open and up to one-half hour after closing.
 - 2. Approved commercial, industrial, and institutional security lighting shall be allowed in accordance with the provisions of this Code.
 - 3. Motion sensor lighting shall be allowed for security purposes.
- (c) Recreational facilities. Shall be allowed to keep their approved outdoor lighting on for the period of time the recreational use continues.

(9) *Zone 2 Residential Outdoor Lighting Requirements*

- (a) Residential subdivisions that require yard lamp post lighting shall be equipped with automatic dimmer switches that will reduce the light output by 50% after 10 p.m. every evening.
- (b) The maximum wattage for outdoor luminaries shall be 40 watts per fixture.
- (c) Residential properties may have security lighting; however security lighting shall be operated with motion sensors after 10 p.m. every evening.
- (d) Outdoor lighting fixtures located on berthing structures, piers or docks or designed to illuminate such structures shall be required to meet the following requirements:
 - 1. Flashing or rotating lights are prohibited
 - 2. Outdoor lighting fixtures shall, whether mounted on a berthing structure, pier or dock, or mounted such that it is designed to illuminate any such structure, shall have shielding or be fitted with an opaque light shield to limit the upward and outward projection of light to an angle no greater than 45 degrees below the horizon to prevent direct visibility of the lamp to persons on public waters or adjacent lands. Such outdoor light fixtures shall be limited to a maximum of one foot-candle measured at the ordinary high water mark.
 - 3. Outdoor lighting fixtures installed on or intended to illuminate berthing structures, piers or docks shall be turned off when not required for safety or security.

(10) *Zone 3 Agricultural Outdoor Lighting Requirements*

- (a) The Town of Delafield recognizes the need for lighting related to farming and agricultural operations in the Town as well as a desire to minimize glare caused by lights associated with agricultural use. To the extent practicable, lighting for agricultural uses shall meet the following standards:

-
1. Lighting shall be reduced at dusk to that lighting needed for safety of the operations and security of the agricultural use.
 2. The amount of light at the property lines shall be no greater than 0.5 foot-candles.
 3. Barn lights and/or flood lights shall be shielded or partially shielded to minimize dispersion outside the area being lit, and reduce glare and light trespass.
- (11) **Light trespass.** Unless otherwise approved in accordance with this section, all luminaries shall be of a full cutoff design and directed so as to confine the area of light dispersion to the property and/or building area which it is intended to illuminate. More specifically, all lighting installations shall conform to the following standards:
- (a) All luminaries except street lights shall be located, aimed or shielded so as to prevent stray light trespassing across property boundaries, measurable at or below 0.5 foot-candles while holding meter perpendicular to offending source(s).
 - (b) Where adjacent to non-residential property, the maximum permitted illumination level located 10 feet within that adjacent property shall be no greater than 0.1 horizontal foot-candles.
 - (c) Where adjacent to residential property, the maximum permitted illumination level on a residentially zoned parcel located immediately within that adjacent property shall be no greater than 0.01 horizontal foot-candles.
 - (d) Ground mounted lighting. In order to fully hide the light fixture from public view and to prevent glare and brightness from normal public view, all ground mounted luminaries designed or intended for purposes of illuminating, signs, flagpoles or other onsite amenities shall be completely screened, at the time of installation, with non-seasonal vegetative cover or other materials as approved by the Plan Commission. Additional louvers or shielding may be required to prevent source brightness and glare from normal public view.
- (12) **Special uses.** In addition to the requirements of this chapter, the following uses shall have additional restrictions.
- (a) *Illuminated outdoor recreation facilities.*
 1. Lighting for outdoor recreational facilities including athletic fields, courts, or tracks shall be exempt from the lumens per acre limits of this section.
 2. All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America. (IESNA RP-6)
 3. Lighting trespass requirements are maintained.
 4. Lighting shall only be used for the period of time that the recreational use continues.
 - (b) *Auto display lots.*
 1. Lighting for display lots shall be exempt from the lumens per parcel limits of this section.
 2. Total output. The total light output used for illuminating display lots shall not exceed 20 foot-candles.

3. Every display lot lighting system and design shall be certified by a registered engineer as conforming to all restrictions in this section.
- (c) *Service station canopies or similar structures with a canopy.*
1. All luminaries mounted on the under surface of service station canopies shall be fully shielded, recessed, and utilize flat glass or flat plastic (acrylic or polycarbonate) covers, with no direct illumination permitted at or above the horizontal plane.
 2. Total output. The total light output used for illuminating service station canopies, defined as the sum of all under-canopy initial lamp outputs in lumens, shall not exceed 20 foot-candles. All lighting mounted under the canopy, including but not limited to luminaries mounted on the lower surface of the canopy and auxiliary lighting within signage or panels over the pumps, is to be included toward the total.
 3. No lighting shall be placed on the facade or roof of the canopy.
- (d) *Public and Private street lighting.*
1. Where private street lighting is installed, on private or public roads, the luminaries shall be fully shielded and not exceed 2,700 lumens per fixture.

(13) **Permits.**

- (a) Prior to the erection, installation or placement of any exterior artificial light source, an application for permit shall be filed with the building inspector. All applications shall include
1. a scaled plan depicting the existing and proposed number of fixtures, specific locations, intensity (stated in wattage and lumens) and total lumens.
 2. manufacturers iso-footcandle curve reference plot
 3. light distribution contour plan
 4. manufacturers fixture and pole cut sheets with luminaire elements clearly defined on them
 5. type of illumination of all light sources.
 6. chart indicating the total hardscape area of the site

The building inspector shall forward the information to the Plan Commission, for approval. The plans submitted in compliance hereto shall not necessarily be deemed sufficient to fulfill the technical requirements of the building and electrical ordinance of the town but are in addition thereto.

- (b) Any permit issued by the building inspector under the provisions of this section shall expire and be null and void if not implemented within one year of the date of approval. Whenever a permit is granted in conjunction with a site plan approval, such permit shall be valid for the same time period as the related site plan.

(14) **Prohibitions.**

- (a) The following types of lighting shall be prohibited except as otherwise approved by planning commission:

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1. Swivel mounted luminaries.
 2. Outdoor neon lighting.
 3. Any artificial light source that creates glare within the normal range of vision from any public walk or thoroughfare under normal weather conditions.
 4. Display of intermittent lights or flashing, blinking, moving lights except as follows:
 - a. Where such lights are required by state or federal law.
 - b. Where such lighting is of a temporary nature including but not limited to holiday displays and grand opening events.
 5. *Laser source light*. The use of laser source light or any similar high intensity light is prohibited.
 6. *Searchlights*.
 7. Light intended to illuminate naturally occurring environmental features including but not limited to wetlands, rivers, lakes and dedicated open spaces shall be prohibited except as approved as by the Plan Commission.
- (b) *Exceptions*. The Plan Commission, may approve exceptions to the provisions of this subsection where, in their opinion, strict compliance to the regulations is impractical and the alternative would further the public interest.
- (c) *Exemptions*. The following types of lighting shall be exempt from the outdoor lighting regulations:
1. Seasonal decorations are exempt from the requirements of this chapter unless it constitutes a public nuisance (traffic, safety, etc.).
 2. Tower lighting or any other lighting which is required by federal or state regulations.
 3. Special events when use and lighting are approved by the Plan Commission and Town Board.

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