



A PERFECT ENVIRONMENT

Residential Recreational Responsible

Chair
Edward Kranick
Supervisors
Steve Michels
Joe Woelfle
Magalie Miller
Terri Mahoney-Ogden
Clerk/Treasurer
Dan Green

TOWN OF DELAFIELD PLAN COMMISSION MEETING
Tuesday, October 3, 6:30 p.m.
Town of Delafield Town Hall W302 N1254 Maple Avenue, Delafield, WI 53018
Amended 10/2/2023 @1:15PM
AGENDA

1. Call to Order and Pledge of Allegiance
2. Approval of the minutes of August 1, 2023.
3. Communications (for discussion and possible action): None
4. Unfinished Business: None
5. New Business:
 - A. Patricia Collins, W298 N2778 Locust Lane, Re: Consideration and possible action on a request to adjust a lot line on the Collins property to address an encroachment by an adjoining lot owner. Tax Key No. DELT 0774-033.
 - B. Tom Beaudry, 229 Lynndale Road, LLC, Re: Consideration and possible action on the re-approval of a Certified Survey Map to split his land at N47 W28229 Lynndale Road into two parcels.
 - C. Leigh Peterson, W240N2385 Pewaukee Road, Re: Consideration and possible action on a request for an exemption to the height restrictions to construct a chimney and flue, and a cupola on a house (to a maximum height of 44'10"), and a cupola on an accessory structure (to a maximum height of 30'-1/2").
6. Discussion: None
7. Announcements and Planning Items: Next meeting: November 7, 2023.
8. Adjournment

PLEASE NOTE:

- ✓ It is possible that action will be taken on any of the items on the agenda and that the agenda may be discussed in any order. It is also possible that members of and possible a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.
- ✓ Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Town Clerk Dan Green (262) 646-2398.

**TOWN OF DELAFIELD
PLAN COMMISSION MEETING
TUESDAY, AUGUST 1, 2023, 6:30 P.M.**

Video Link: <https://www.youtube.com/watch?v=sU79dueG9o0>

First order of business: Call to Order and Pledge of Allegiance

Chairperson Fitzgerald called the meeting to order at 6:30 p.m. and led all in the Pledge of Allegiance.

Members present: Chairperson Kranick, Supervisor Michels, Commissioner Dickenson, Commissioner Mihalovich, Commissioner Cummings, Commissioner Janusiak, and Plan Commission Chairperson Fitzgerald.

Also present: Engineer Tim Barbeau and Administrator Dan Green.

Second order of business: Approval of the minutes of July 11, 2023.

Motion by Supervisor Michels to approve the minutes from July 11, 2023. *Seconded by Commissioner Cummings. Motion passed 7-0.*

Third order of business: Communications (for discussion and possible action): None

Fourth order of business: Unfinished Business: NONE

Fifth order of business: New Business:

- A. Russell and Lora Wankowski, W293 N3112 Poplar Drive, Re: Consideration and possible action on the approval of a Certified Survey Map to reconfigure multiple existing lots located at W293 N3112 Poplar Drive into two lots. Tax Key Nos. DELT0764-022 and 0764-040.

Engineer Barbeau reviewed the request from Mr. Wankowski. He explained that there have been some road vacations throughout the years in this area. The proposal is to create a CSM that takes a portion of outlot 9 from Woodridge Estates. Incorporating this land will address the approach of the driveway. When Woodridge was considered in 2013, this was discussed. The Town's attorney had some questions as to if this could be done, and who would sign off on the release of the land. Would each property owner in the subdivision, or the officers of the HOA. If the land is deeded to the Wankowski's, only the officers of the corporation that own the outlot would need to sign. The remaining outlot 9 would remain an outlot of Woodridge Estates. The engineer stated he recommends approval subject to outstanding comments by Waukesha County and Village of Hartland. He also explained the CSM shall not be executed unless the land from Woodridge Estates is added to his property. Both the quit claim deed and the CSM can be recorded at the same time.

Supervisor Kranick stated the Plan Commission should be aware another lot to the south is being created as a result of this CSM (Tax key 041). Engineer Barbeau asked Mr. Wankowski if he considered what he was going to do with this lot being created. Mr. Wankowski stated at this point there are no plans for it.

Motion by Chairman Kranick to approve the CSM prepared by V2G Surveying, LLC., dated July 3, 2023, subject to satisfaction of all outstanding review comments from the Town enumerated in the engineer's letter to the surveyor dated July 19, 2023, Village of Hartland and Waukesha County Department of Parks and Land Use, prior to the Town executing the document, and subject to a quit claim deed being recorded with Waukesha County. Seconded by Commissioner Dickenson. Motion passed 7-0.

- B. US Cellular, by Gara Fluitt, Faulk and Foster, Re: Consideration and possible action on a request to install six new “short panel” antennas and one GPS antenna on the communication tower located at N44 W29190 Oxford Drive, Tax Key No. 0728-998-001.

Engineer Barbeau explained the tower is north of Prairie Wind Circle. It has an Oxford Drive address because the access comes off of Oxford Drive in Hartland. There are three locations on the tower they are making changes to. The proposal is for 6 short panels and one GPS panel. No structural modifications are required. By definition this is not a substantial modification. The Town is able to go through the Plan Commission and Town Board process like any commercial development. They do not violate any limitations in the State Statutes. The Town Code defers to the State Statutes in this situation. Engineer Barbeau recommends approval as proposed and recommend to the Town Board.

Motion by Chairman Kranick to approve the installation of six antennas and provide a positive recommendation for approval to the Town Board. Seconded by Supervisor Michels. Motion passed 7-0.

Sixth Order of Business Discussion: None

Seventh Order of Business: Announcements and Planning Items: Next meeting: September 5, 2023.

Eighth Order of Business: Adjournment

Motion by Chairman Kranick to adjourn the August 1, 2023, Plan Commission meeting at 6:51 p.m. Seconded by Supervisor Michels. Motion passed 7-0.

Respectfully submitted,

Dan Green, CMC, WCMC
Administrator-Clerk/Treasurer

Plan Commission Report for October 3, 2023

Patricia Collins Agenda Item No. 5. A.

Applicant: Patricia Collins
Project: W298 N2778 Locust Lane
Requested Action: Approval of sale or exchange of parcels between adjoining property owners
Zoning: R-3 Waukesha County
Location: W2989 N2778 Locust Lane

Report

Over the past 2 years, I have been receiving calls from the owner of W298 N2778 Locust Lane who disputed the survey and new building location on an adjacent lot north of her property. After reviewing the survey for the lot on which the new house was constructed, I suggested that she contact a surveyor and have them survey their property to confirm where her lot lines are located. That survey was performed recently and showed that the neighbor to the north did encroach onto her property (survey performed by the adjacent lot owner was deemed to be incorrect) which resulted in the house being too close to the lot line. The matter was resolved between adjacent landowners by Ms. Collins selling a strip of land (388 square feet) to the neighbor.

Section 18.11 of the Town Code states that in every situation, regardless of circumstances, if a property owner seeks to convey land in a manner that would adjust a lot line, the proposed action has to be submitted to the Plan Commission for prior review. In this case, the transaction addresses an error in the survey lines.

The criteria found in 18.11 for evaluating whether the lot line adjustment should be allowed includes:

Criteria	Staff Evaluation
The resulting lots are not reduced below the minimum size required by state or local ordinances	Both properties are considered legal non-conforming lots.
No new lots are created	No new lots are being created.
Resulting lots are legal and conforming	The lots started out legal nonconforming and remain legal nonconforming. Side yard offsets conform to the code.
Neither lot can contain a legal non-conforming use.	Both lots contain single family homes which is permitted by Waukesha County Shoreland code.
Resulting lots cannot be in violation of any open space requirements	Waukesha County does not have a specific open space requirement for each lot.
Cannot make an existing conforming structure non-conforming or increase any preexisting legal nonconformity.	The lot reconfiguration does not create a nonconforming structure or increase the extent of a preexisting legal nonconformity of

Plan Commission Report for October 3, 2023

Patricia Collins Agenda Item No. 5. A.

Applicant: Patricia Collins
Project: W298 N2778 Locust Lane
Requested Action: Approval of sale or exchange of parcels between adjoining property owners
Zoning: R-3 Waukesha County
Location: W2989 N2778 Locust Lane

Report

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Resulting lots cannot be in violation of any open space requirements	Waukesha County does not have a specific open space requirement for each lot.
Cannot make an existing conforming structure non-conforming or increase any preexisting legal nonconformity.	The lot reconfiguration does not create a nonconforming structure or increase the extent of a preexisting legal nonconformity of

	an existing structure. Additional land allows the new house to conform to County requirements.
--	--

Staff Recommendation:

The request solves a lot line discrepancy caused by an incorrect survey for the adjacent home and meets all criteria; therefore, it should be afforded the approval of the Plan Commission.

Tim Barbeau, Town Engineer
September 27, 2023

4731537

WAUKESHA COUNTY, WI
REGISTER OF DEEDS
James R Behrend

Recorded On: 08/04/2023 9:53:23 AM

Total Fee: \$30.00 Page(s): 2
Transfer Tax: \$0.00
Exempt Type: 77.25(13)

The above recording information verifies that this document has been electronically recorded and returned to the submitter.

State Bar of Wisconsin Form 3-2003
QUIT CLAIM DEED

Document Number

Document Name

THIS DEED, made between Patricia Collins, an adult individual

("Grantor," whether one or more), and **Kent Rosenthal and Marcia Rosenthal, as husband and wife**

("Grantee," whether one or more).
Grantor quit claims to Grantee the following described real estate, together with the rents, profits, fixtures and other appurtenant interests, in **Waukeesa** County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

See attached Exhibit A for Legal Description.

Recording Area

Name and Return Address
**Attorney Edward J. Lawton
Axley Brynelson, LLP
N17W24222 Riverwood Dr., Ste. 250
Waukesha, WI 53188**

SEE ATTACHED EXHIBIT A

Parcel Identification Number (PIN)

This is not homestead property.
(is) (is not)

Dated

July 28, 2023

Patricia Collins (SEAL)
* PATRICIA COLLINS *

(SEAL)
* _____ *

AUTHENTICATION

Signature(s) _____

authenticated on _____

TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. § 706.06)

THIS INSTRUMENT DRAFTED BY:
**Attorney Edward J. Lawton
Axley Brynelson, LLP**

ACKNOWLEDGMENT

STATE OF Wisconsin)
) ss.
Waukesha COUNTY)

Personally came before me on July, 28, 2023
the above-named Patricia Collins

to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Jessica L. Puetz
* JESSICA L. PUETZ
Notary Public, State of Wisconsin
My commission (is permanent) (expires: _____)



(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATION TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

QUIT CLAIM DEED

©2003 STATE BAR OF WISCONSIN

FORM NO. 3-2003

*Type name below signatures.

WisForms

www.wisforms.com

EXHIBIT A TO QUIT CLAIM DEED

Part of Lot 9 & 10 of The Continuation of Blatz's Oakwood Grove, located in the Southwest 1/4 of the Northwest 1/4, Section 14, Township 7 North, Range 18 East, in the Town of Delafield, Waukesha County, Wisconsin, more particularly described as follows:

Commencing at the West 1/4 corner of said Section 14; thence North 00°02'10" East along the West line of the Northwest 1/4 of said Section 14, a distance of 342.85 feet; thence North 90°00'00" East, 815.81 feet to a 1" iron pipe found at the Southwest corner of Lot 6 of The Continuation of Blatz's Oakwood Grove; thence North 45°43'58" West, along the Southwest line of Lots 6 and 9 of said Continuation of Blatz's Oakwood Grove, said line also being the Easterly Right of Way of Locust Lane, 175.05 feet to a 7/8" rebar set at a point on the Southwest line of said Lot 9, said point also being the Point of Beginning of the hereinafter described lands;

Thence continuing North 45°43'58" West along said Southwest line and said Easterly Right of Way 4.98 feet to a 7/8" rebar set; thence North 40°53'53" East, along the Southwesterly line of the lands described in Document #4389681 and distance of 64.69 feet to a 7/8" rebar set on the Northeast line of Lot 10 of The Continuation of Blatz's Oakwood Grove; thence South 42°38'29" East along said Northeasterly line, 7.10 feet to a metal pin found; thence South 42°45'36" West, 64.22 feet to the Point of Beginning.

Said lands contain 388 square feet more or less.

Tax Key No. DELT0774033 (part of)

NW. CORNER
SEC. 14-7-18
CONC. MON.
W/ BRASS CAP

W. LINE OF THE NW. 1/4 SEC 14-7-18
(N00°39'05"E 2651.40')
N 00°02'10" E 2651.75'

W. 1/4 CORNER
SEC. 14-7-18
CONC. MON.
W/O BRASS CAP

2308.90'

342.85'

PT OF LOT 10
CONTINUATION OF
BLATZ'S OAKWOOD
GROVE

LOT 1
CSM 12033

S 42°38'29" E
7.10'

DWELLING

UPPER DECK

N 40°53'53" E
64.69'

11.5'

DWELLING

N 45°43'58" W
4.98'

FORM PIN

P.O.B.

S 42°45'36" W
64.22'

33.0'

CAR PORT

LOT 4
CONTINUATION
OF BLATZ'S
OAKWOOD
GROVE

OAKWOOD
STORES CONDO

LOCUST LANE
WIDTH VARIES





N 45°43'58" W 175.05'

LOT 6 & 7
PT OF LOT 10
CONTINUATION
OF BLATZ'S
OAKWOOD
GROVE

- TIE -
N 90°00'00" E
815.81'

1" IP

LEGEND

-  - SECTION CORNER MONUMENT FOUND AS DESCRIBED
-  - PROPERTY MONUMENT FOUND AS DESCRIBED
-  - 7/8" REBAR, 18" LGTH, SET
-  - AREA TO BE QUIT CLAIMED



BRADP 173542
7-28-2023

QUIT CLAIM EXHIBIT
PART OF LOT 9 & 10 OF THE CONTINUATION OF BLATZ'S OAKWOOD GROVE, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 14, TOWNSHIP 7 NORTH, RANGE 18 EAST, TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN

1
OF 1

Plan Commission Report for October 3, 2023

229 Lynndale Road, LLC Certified Survey Map Agenda Item No. 5. B.

Applicant: Tom Beaudry, owner
Project: Land Split
Requested Action: Re-Approval of Certified Survey Map
Zoning: M-1 Industrial
Location: N47 W28229 Lynndale Road

Report

In August of 2022, the Plan Commission and Town Board approved the subject Certified Survey Map (CSM) to split lands located at 229 Lynndale Road (Cassandra's Motorsports) in anticipation of the Lake Country Toy Box development. State Statutes require that the CSM be recorded within one year of the last approval by the community. The owner recently requested that the Town execute the document for recording. Due to the fact that he did not record the document within the one-year period, re-approval is required. Mr. Beaudry is requesting that the Town re-approve the CSM. No changes have been made to the final CSM.

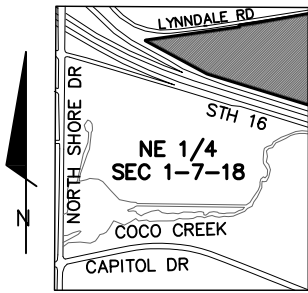
Staff Recommendation:

I recommend approval of the Certified Survey Map as presented at this meeting.

Tim Barbeau, Town Engineer
September 27, 2023

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:



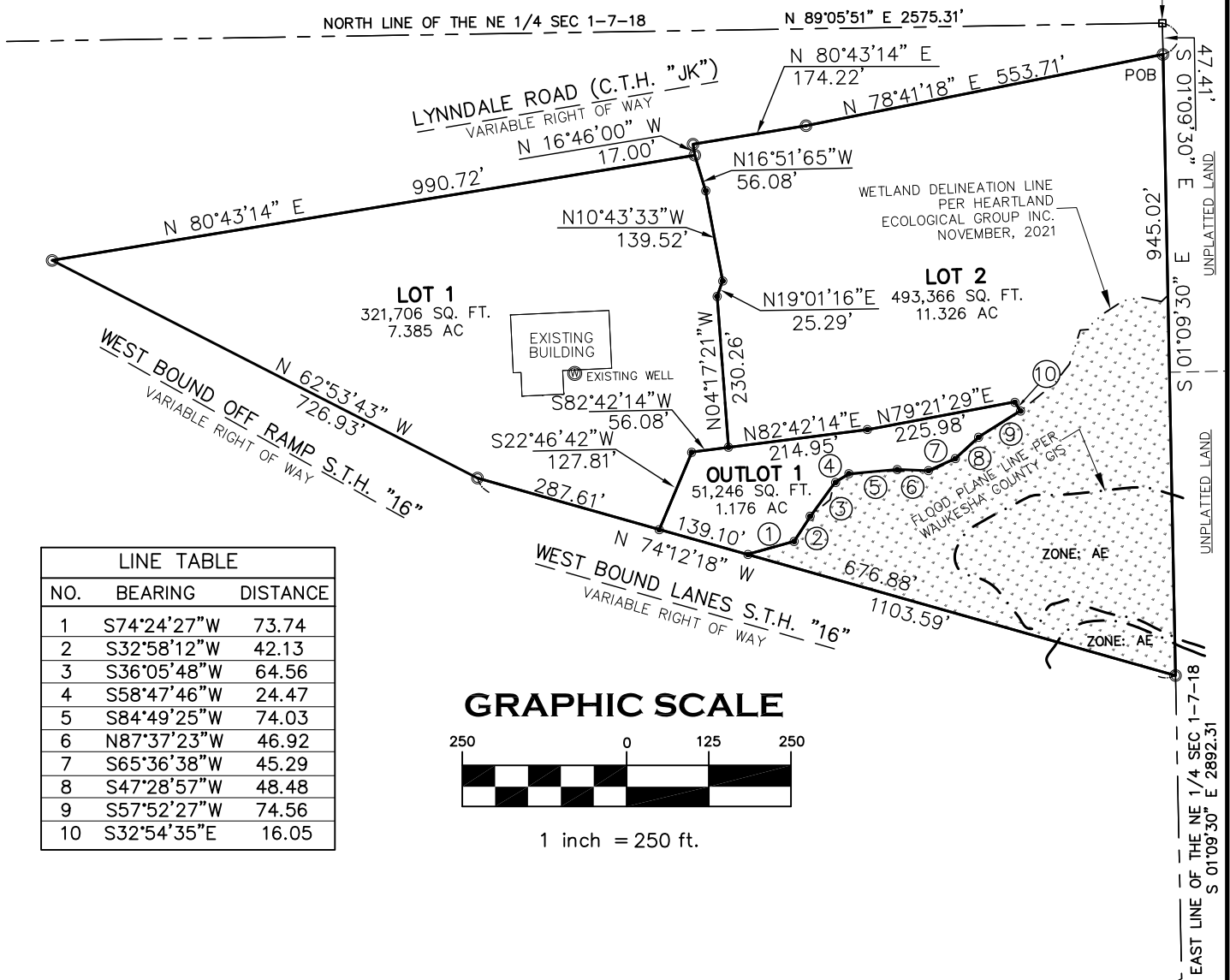
LOCATION MAP
NE 1/4 SECTION 1-7-18 &
SCALE 1"=2000'

ALL BEARINGS REFER TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 1, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) (NAD27) BEARING OF S 01°09'30" E.

- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.
- INDICATES 1.5 INCH DIA. IRON ROD FOUND.

CJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com

PREPARED FOR:
229 LYNNDALE ROAD LLC
1422 PEARL ST.
WAUKESHA, WI 53186



NE CORNER OF THE
NE 1/4 OF SECTION 1,
T 7 N, R 18 E
CONC. MON. WITH
BRASS CAP
N 407,341.69
E 2,453,001.23

NORTH LINE OF THE NE 1/4 SEC 1-7-18

N 89°05'51" E 2575.31'

LYNNDALE ROAD (C.T.H. "JK")
VARIABLE RIGHT OF WAY
N 16°46'00" W
17.00'

N 80°43'14" E 174.22'

N 78°41'18" E 553.71'

N 80°43'14" E

N10°43'33"W
139.52'

N16°51'65"W
56.08'

WETLAND DELINEATION LINE
PER HEARTLAND
ECOLOGICAL GROUP INC.
NOVEMBER, 2021

LOT 1
321,706 SQ. FT.
7.385 AC

LOT 2
493,366 SQ. FT.
11.326 AC

WEST BOUND OFF RAMP S.T.H. "16"
VARIABLE RIGHT OF WAY
N 62°53'43" W
726.93'

EXISTING WELL

S82°42'14"W
56.08'

S22°46'42"W
127.81'

N04°17'21"W
230.26'

N82°42'14"E
214.95'

N79°21'29"E
225.98'

N 74°12'18" W
139.10'

WEST BOUND LANES S.T.H. "16"
VARIABLE RIGHT OF WAY

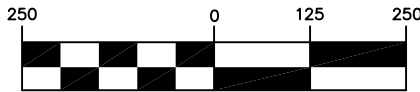
N 74°12'18" W
139.10'

676.88'

1103.59'

LINE TABLE		
NO.	BEARING	DISTANCE
1	S74°24'27"W	73.74
2	S32°58'12"W	42.13
3	S36°05'48"W	64.56
4	S58°47'46"W	24.47
5	S84°49'25"W	74.03
6	N87°37'23"W	46.92
7	S65°36'38"W	45.29
8	S47°28'57"W	48.48
9	S57°52'27"W	74.56
10	S32°54'35"E	16.05

GRAPHIC SCALE



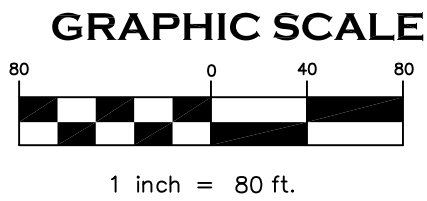
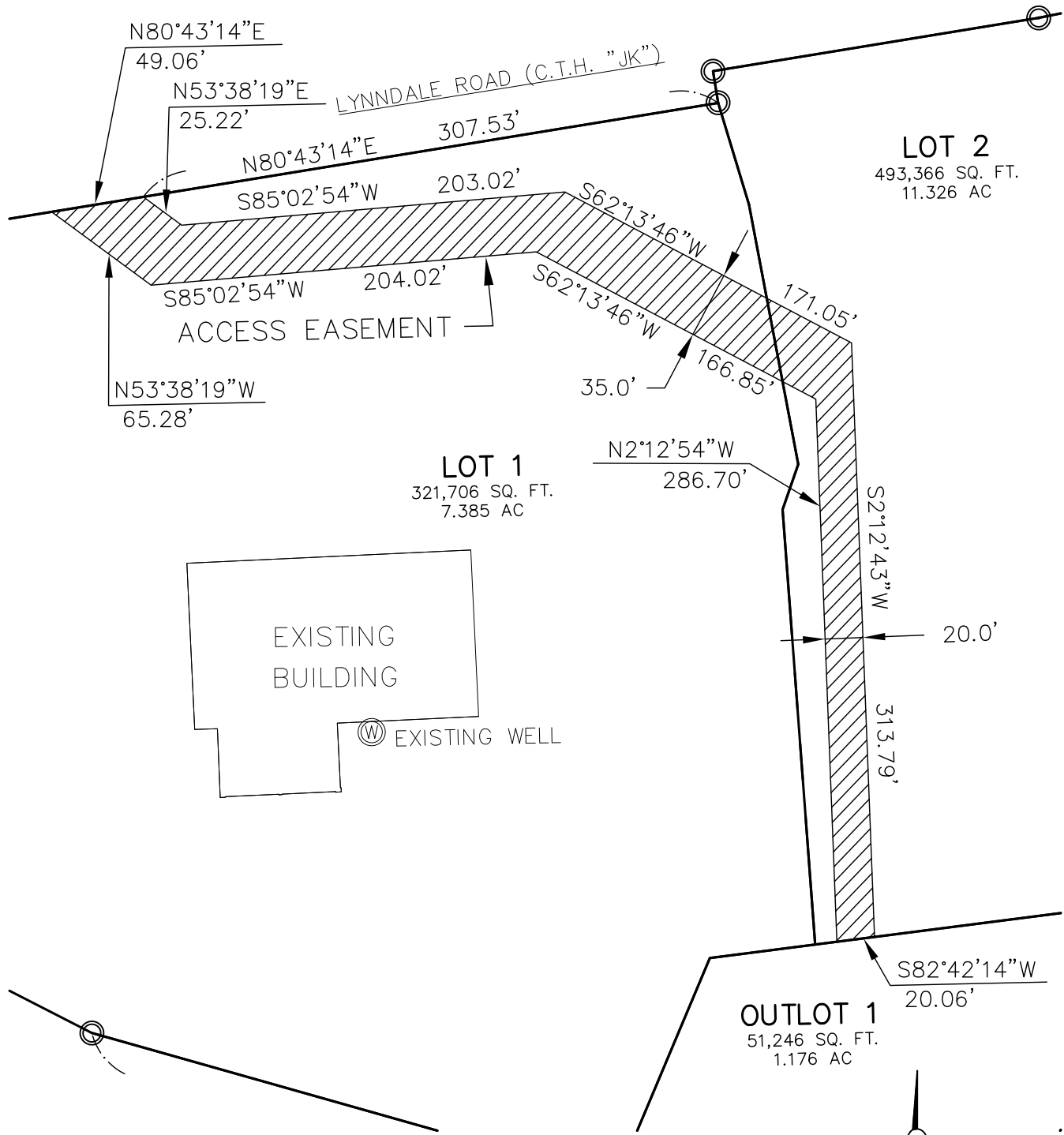
1 inch = 250 ft.

SE CORNER OF THE
NE 1/4 OF SECTION 1,
T 7 N, R 18 E
CONC. MON. WITH
BRASS CAP
N 404,450.25
E 2,453,059.70

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

CJ
engineering
 civil design and consulting
 9205 W. Center Street
 Suite 214
 Milwaukee, WI 53222
 PH. (414) 443-1312
 www.cj-engineering.com



CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, CHRISTOPHER A. JACKSON, A REGISTERED LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED AND MAPPED A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID 1/4 SECTION; THENCE S 01°09'30" E 47.41 FEET ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION; TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE S 01°09'30" E 945.02 FEET ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION TO THE NORTH LINE OF STATE TRUNK HIGHWAY "16"; THENCE N 74°12'18" W 1103.59 FEET ALONG SAID NORTH LINE; THENCE N 62°53'43" W 726.93 FEET ALONG SAID NORTH LINE OF STATE TRUNK HIGHWAY "16" TO THE SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK"; THENCE N 80°43'14" E 990.72 FEET ALONG SAID SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK"; THENCE N 16°46'00 W 17.00 FEET; THENCE N 80°43'14" E 174.22 FEET ALONG THE SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK"; THENCE N 78°41'18" E 553.71 FEET ALONG SAID SOUTH LINE OF COUNTY TRUNK HIGHWAY "JK" TO THE POINT OF BEGINNING.

CONTAINING: 866,320 SQUARE FEET, OR 19.8880 ACRES.

THAT I HAVE MADE SUCH SURVEY AND MAP BY THE DIRECTION OF BROOK INVESTMENTS GLOBAL LIMITED, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, THE TOWN OF DELAFIELD, THE CITY OF DELAFIELD AND THE COUNTY OF WAUKESHA PARKS AND LAND USE.

DATED THIS _____ DAY OF _____, 2022.

CHRISTOPHER A. JACKSON, P.L.S.
REGISTERED LAND SURVEYOR, S-2851
STATE OF WISCONSIN

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

CORPORATE OWNER'S CERTIFICATE

229 LYNNDALE ROAD, LLC, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DIVIDED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 236 OF STATUTES OF THE STATE OF WISCONSIN. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE TOWN OF DELAFIELD AND THE COUNTY OF WAUKESHA PARKS AND LAND USE.

DATED THIS _____ DAY OF _____, 2022.

THOMAS J. BEAUDRY, AUTHORIZED SIGNATURE
229 LYNNDALE ROAD, LLC

STATE OF WISCONSIN) SS
WAUKESHA COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE THOMAS J. BEAUDRY, AUTHORIZED SIGNATURE OF 229 LYNNDALE ROAD, LLC. ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES _____

CERTIFIED SURVEY MAP NO. _____

BEING A PART OF THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 7 NORTH, RANGE 18 EAST, IN THE TOWN OF DELAFIELD, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

TOWN PLAN COMMISSION APPROVAL

APPROVED BY THE PLAN COMMISSION, TOWN OF DELAFIELD, THIS _____ DAY OF _____, 2022.

KEVIN FITZGERALD-CHAIRMAN

DAN GREEN-CLERK

TOWN PLAN BOARD APPROVAL

APPROVED BY THE TOWN BOARD, TOWN OF DELAFIELD, THIS _____ DAY OF _____, 2022.

RON TROY-CHAIRMAN

DAN GREEN-CLERK

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

RESOLVED THAT THE ABOVE CERTIFIED SURVEY MAP WHICH HAS BEEN FILED FOR APPROVAL AS REQUIRED BY CHAPTER 236, WISCONSIN STATUTES, IS HEREBY APPROVED THIS _____ DAY OF _____, 2022.

DALE R. SHAVER-DIRECTOR

Plan Commission Report for October 3, 2023

Leigh Peterson Height Exemption Agenda Item No. 5. C.

Applicant: Leigh Peterson

Project: New Home at W296 N2920 Franciscan Road

Requested Action: Approval of exemption to height requirement

Zoning: R-3 Waukesha County

Location: W296 N2920 Franciscan Road

Report

Ms. Peterson is planning a new house and accessory building on her property located at W296 N2920 Franciscan Road. The property is within the Waukesha County Shoreland Zoning jurisdiction. The architect for the proposed house and accessory building is proposing a cupola and a chimney/flue on the house that exceeds the maximum 42-foot height requirement per the County Shoreland ordinance and a cupola on the accessory building that exceeds the maximum height allowed when considering increased offset distances. However, Section 3(i)4. Of the Waukesha County Shoreland Ordinance states the following:

4. *Exceptions: The following shall be exempt from the height regulations of all Districts:*

A. *Chimneys and flues.*

B. *Subject to approval of the Plan Commission; cooling towers, elevators, bulkheads, fire towers, monuments, stacks, tanks, windmills, water towers, ornamental towers, spires, wireless or broadcasting towers, masts, aerials, and necessary mechanical appurtenances if located a minimum of seventy-five (75) feet from the Ordinary High Water Mark of a Navigable Waterway*

The reference to the “Plan Commission” is the Town Plan Commission. Therefore, the Town Plan Commission provides input to Waukesha County on whether the exemption is acceptable.

To give you some perspective, the Town code related to building heights (which do not apply is the shoreland district) allows the overall height of a principal structure to be 45 feet and the overall height of an accessory building to be a maximum of 20 feet. The code allows “increases” to the overall height of not more than 10 feet with Plan Commission approval and increasing the setbacks and offsets 1 foot for each foot above the maximum allowed height. Furthermore, the Town code has similar exemption language for chimneys, flues, ornamental towers, etc.

I have been informed by the architect that the cupolas are ornamental only.

Staff Recommendation:

The County code does not specify a limit to the exemption granted for elements such as chimney/flues, ornamental towers, etc. However, to be reasonable and consistent in the way we consider height increase matters in the Town, I offer the following:

Since the Town code already allows the overall height of a single-family house to be a maximum of 45 feet, and they are proposing a maximum of 44'-10", I am not opposed to the chimney/flue and cupola on the principal residence as proposed. For the accessory building, the County allows the overall height to be 18, but with increased side yard offsets, (which they have provided) allows a height of 25 feet. They are proposing the ridge line to be 24'-6", plus another 5'- 6 ½" for the cupola. Since the Town code would allow a maximum of 30 feet for accessory buildings (20' plus a 10' increase), I recommend that we limit the overall height of the accessory building to 30 feet.

Formal recommendation/motion:

I recommend that the Town Plan Commission approve the allowance of an exemption to the County Shoreland ordinance height requirements of 2'-10" (total overall height 44'-10") for the principal residence and 5'-6" (total overall height 30'-0") for the accessory building since the heights are consistent with height allowances in the Town Code.

Tim Barbeau, Town Engineer
October 2, 2023



TOWN OF DELAFIELD

APPLICATION FOR PLAN COMMISSION AGENDA

Plan Commission meetings are typically held the first Tuesday of every month. All applications must be submitted at least 3 weeks before a Plan Commission meeting to make the agenda. Any late submittals will be considered at the following meeting.

(PLEASE PRINT)

Owner Information				Applicant			
Name: Leigh Peterson				Name: Leigh Peterson			
Address W240N2385 Pewaukee Road				Address W240N2385 Pewaukee Road			
City	State	Zip		City	State	Zip	
Waukesha, WI 53188-1010				Waukesha, WI 53188-1010			
Telephone Number [REDACTED]				Telephone Number [REDACTED]			
Email: [REDACTED]				Email: [REDACTED]			

APPLICATION TYPE AND FEE (CHECK ALL THAT APPLY)

*Application fees are non-refundable. Fees cover costs associated with public notification, postage, copies, and document recording, however, applicants agree to pay all additional expenses that the Town may incur by virtue of contracted plan review services including but not limited to: legal, surveying and engineering costs.

- | | | | |
|---|----------|--|-----------------|
| <input type="checkbox"/> Site Plan..... | \$150.00 | <input type="checkbox"/> Home Occupation..... | \$50.00 |
| <input type="checkbox"/> Site Grading Plan..... | \$50.00 | <input type="checkbox"/> Zoning Amendment..... | \$300.00 |
| <input type="checkbox"/> Lighting Plan..... | \$50.00 | <input type="checkbox"/> Land Use Amendment..... | \$300.00 |
| <input type="checkbox"/> Signage Plan..... | \$75.00 | <input type="checkbox"/> Conditional Use..... | \$225.00 |
| <input type="checkbox"/> Preliminary Plat..... | \$300.00 | <input type="checkbox"/> Plan of Operation..... | \$150.00 |
| <input type="checkbox"/> Final Plat..... | \$150.00 | <input type="checkbox"/> Planned unit Development..... | \$225.00 |
| <input type="checkbox"/> Certified Survey Map..... | \$250.00 | <input type="checkbox"/> Conceptual Plan Review..... | \$50.00 |
| <input type="checkbox"/> Developer's Agreement..... | \$100.00 | <input checked="" type="checkbox"/> Other..... | \$50.00 minimum |

PROJECT NAME: Peterson

Property Address: W296 N2920 Franciscan Road Pewaukee, WI 53072

Tax ID/Parcel ID: DELT0774989 Lot Size: 157,486 SF

Current Zoning: R-L Proposed Zoning (if applicable): _____

Present Use: Residential Intended Use (if applicable): _____

A complete application along with the appropriate fees shall be submitted by the deadline outlined at the top of the application. In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the project review checklist. If applying for a conditional use or development agreement, a document showing vested interest in the property is required. The Town of Delafield reserves the right not to accept an application that is deemed incomplete.



TOWN OF DELAFIELD PLAN COMMISSION APPLICATION

Project Description

Please answer the questions below that pertain to your request. If necessary, please attach a separate sheet.

PETITION FOR REZONING

In the space below, please describe the purpose of the rezoning.

PETITION FOR LAND USE AMENDM

In the space below, please describe the purpose of the Land Use Amendment.

PETITION FOR CONDITIONAL USE

In the space below, please describe the purpose of the Conditional Use.

PETITION FOR CERTIFIED SURVEY MAP / PRELIMINARY PLAT / FINAL PL

In the space below, please describe the intention of the land division.

PETITION FOR SITE PLAN / PLAN OF OPERATION / OTHER APPLICATION

In the space below, please describe the intention for the site plan, plan of operation, or other application.

The owner wants to build a new house and a new detached garage. The exist. house and accessory structures to be removed except the boat house. Waukesha P&P is requiring Town Plan Commission approval for the exceeded height limits for the house and garage cupolas. Waukesha max house height is 42 feet. The house ridge is below that height but the cupola extends above. The Town max is 45 ft which the cupola is below.

The detached garage has a main ridge height of 24'-6"which is below the Waukesha max of 25 feet with additional setback distances but the cupola extends above that height.



Required Forms for Submittal

Required Forms Checklist:

- Legal Description (all applications)
- Professional Staff/Fees Chargeback Acknowledgement (all applications)
- Certification for Division of Land (Certified Survey Map land splits)

Submittal Information:

- One (1) copy of this application (signed & dated)
- One (1) electronic copy of all supporting materials, i.e., drawings, plans and written documentation (via email to dgreen@townofdelafield.org).
- Two (2) full size hard copies of all supporting materials, i.e., drawings, plans and written documentation of plans 11"x17" and smaller.
- Seven (7) copies of supporting materials larger than 11"x17".

I understand that this form shall be on file in the office of the Town Administrator by 4:00 p.m. on the 21st day before the meeting on which I desire to be heard or as required in the Land Division or Zoning Ordinance, whichever is longer. Plan Commission meetings are held the first Tuesday of each month. Furthermore, I understand that any engineering or legal review fees associated with this project may be charged to me.

FAILURE TO PROVIDE ALL REQUIRED MATERIALS AND INFORMATION CAN RESULT IN THIS APPLICATION BEING WITHDRAWN FOR CONSIDERATION BY THE PLAN COMMISSION.

Leigh Peterson
Signature of Owner

Sept 8, 2023
Date

Leigh Peterson
Print Name

For Office Use Only

Application Received _____
Date Received _____
PC Meeting Date _____
Public Hearing Date _____

Amount Received _____
Received by _____
Board Meeting Date _____

Publication Date (if required) _____



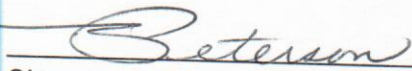
TOWN OF DELAFIELD

PROFESSIONAL STAFF FEES CHARGEBACK ACKNOWLEDGEMENT

PLEASE BE ADVISED

That pursuant to the Town of Delafield Code of Ordinances, the Town of Delafield Town Board has determined that whenever the services of the Town Attorney, Town Engineer or any of the other Town's professional staff results in a charge to the Town for that professional's time and services, and such service is not a service supplied to the Town as a whole, the Town Clerk shall charge that service and the fees incurred by the Town to the owner of the property. Also be advised that pursuant to the Town of Delafield Code of Ordinances certain other fees, costs and charges are the responsibility of the property owner.

I, the undersigned, have been advised that, pursuant to the Town of Delafield Code of Ordinances, if the Town Attorney, Town Engineer or any other Town professional provides services to the Town as a result of my activities, whether at my request or at the request of the Town, I shall be responsible for the fees incurred by the Town. Also, I have been advised that pursuant to the Town of Delafield Code of Ordinances, certain other fees, costs and charges are my responsibility.

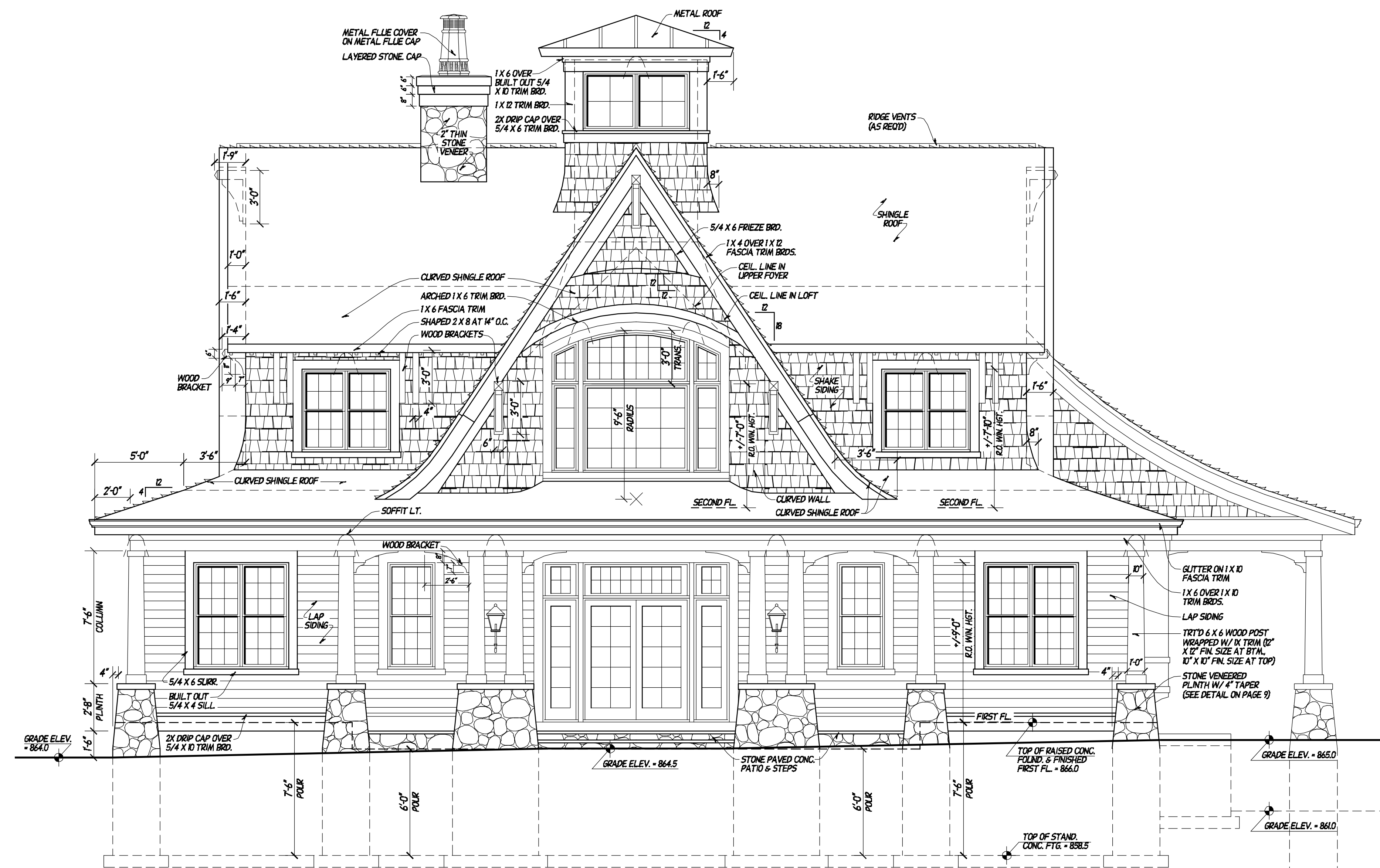

Signature of Owner

Sept 8, 2023
Date

Leigh Peterson
Owner's name (please print)

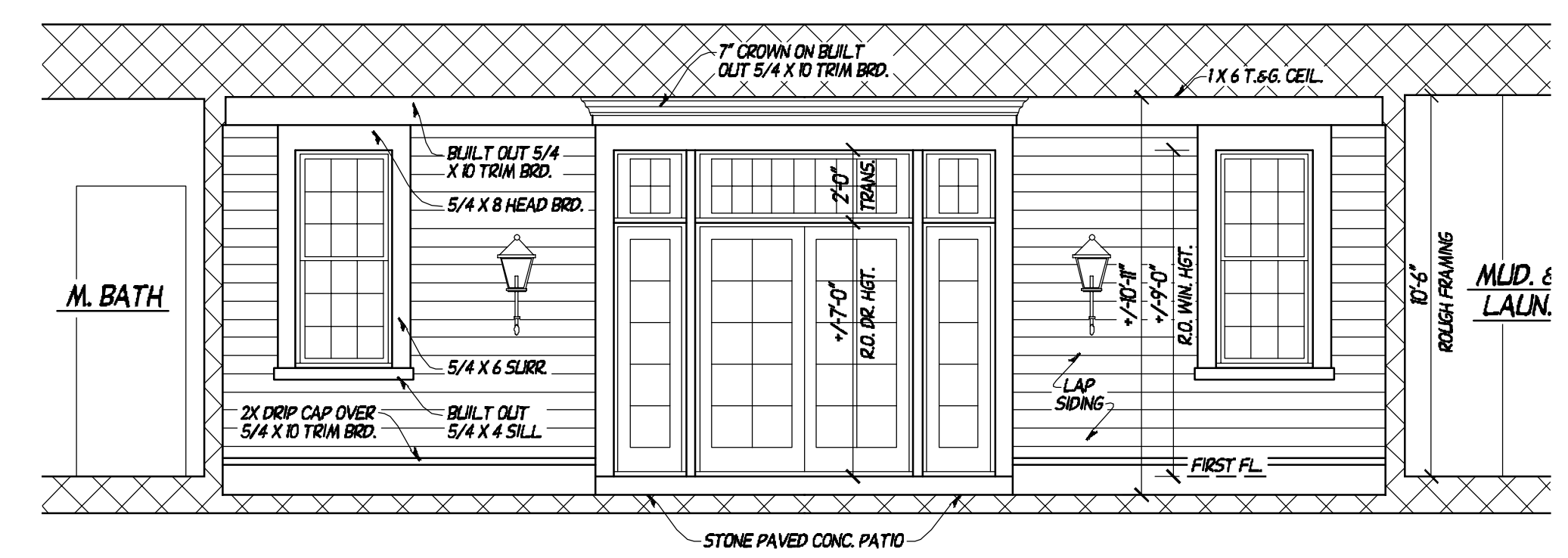
Form received by: _____

Date: _____



FRONT (ROAD) ELEVATION

SCALE: 1/4"=1'-0"



COVD ENTRY INT. ELEV.

SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL NOTES:

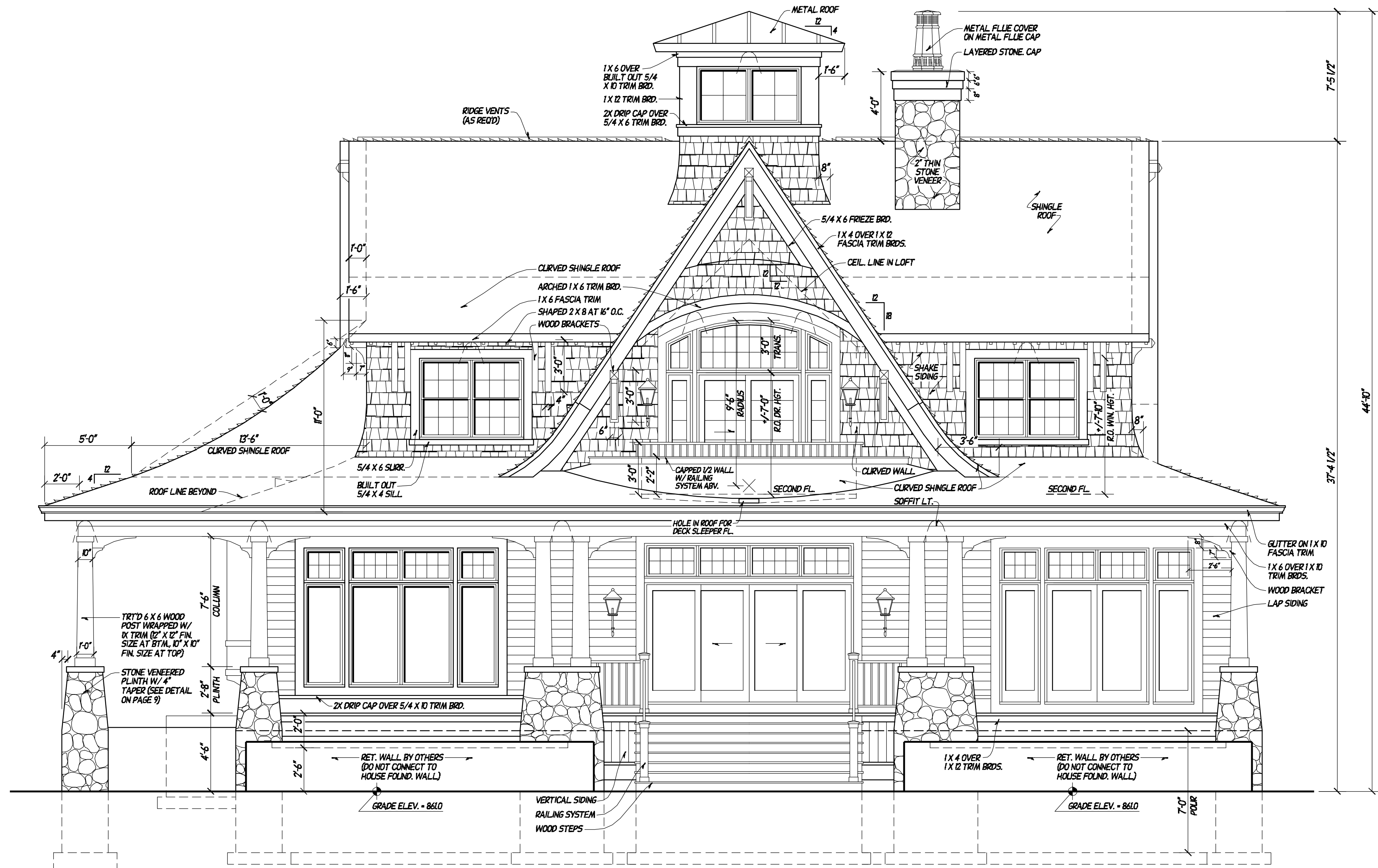
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- ALL LAP SIDING TO BE 6" TO WEATHER.
- ALL SHAKE SIDING TO BE FIBER CEMENT.
- ALL TRIM BRDS. TO BE LP SMARTSIDE.
- ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
- ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
- ALL SOFFITS TO BE 1 X 6 T&G W/ EAVE VENTS.
- ALL GUTTERS TO BE COPPER.
- ALL EXTERIOR CEILINGS TO BE 1 X 6 T&G.

CONC. FTG. DEPTH NOTE:

- STEP CONC. FTGS. DEEPER OR SHALLOWER AS REQ'D PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.

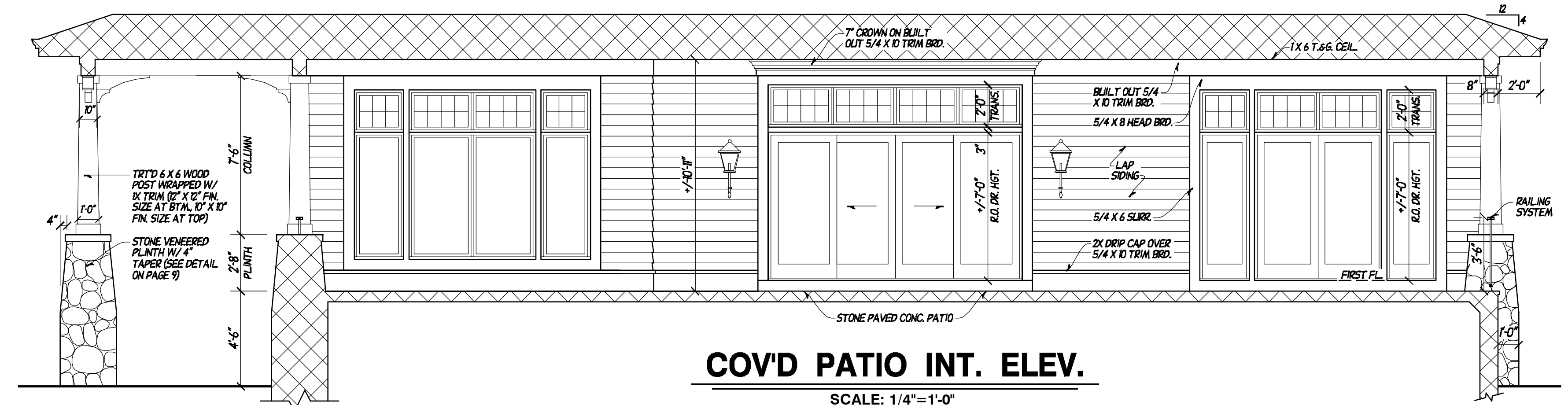
TOWN OF DELAFIELD SUBMITTAL - 9/11/23

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<p>BUILDER</p>	
<p>OWNER & PROJECT LOCATION MS. LEIGH PETERSON W296 W2920 FRANCISCAN RD. PEWaukee, WI, 53072</p>	
<p>DESIGNED BY R. TOM</p>	<p>COMPLETION DATE NOT COMPLETE</p>
<p>DRAWN BY A.L.V.</p>	<p>REVISIONS</p>
<p>CHECKED R. TOM</p>	<p>ARCHITECTURAL DEVELOPMENT SERVICES, INC. www.architecturaldevelopment-services.com 150 NORTH SUNNY SLOPE RD STE 260 BROOKFIELD, WI 53005 (262) 787-1701</p>
<p>JOB NUMBER 162620-D</p>	
<p>SHEET NO. HOUSE 1 OF 10</p>	



REAR (LAKE) ELEVATION

SCALE: 1/4"=1'-0"



COVD PATIO INT. ELEV.

SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL NOTES:

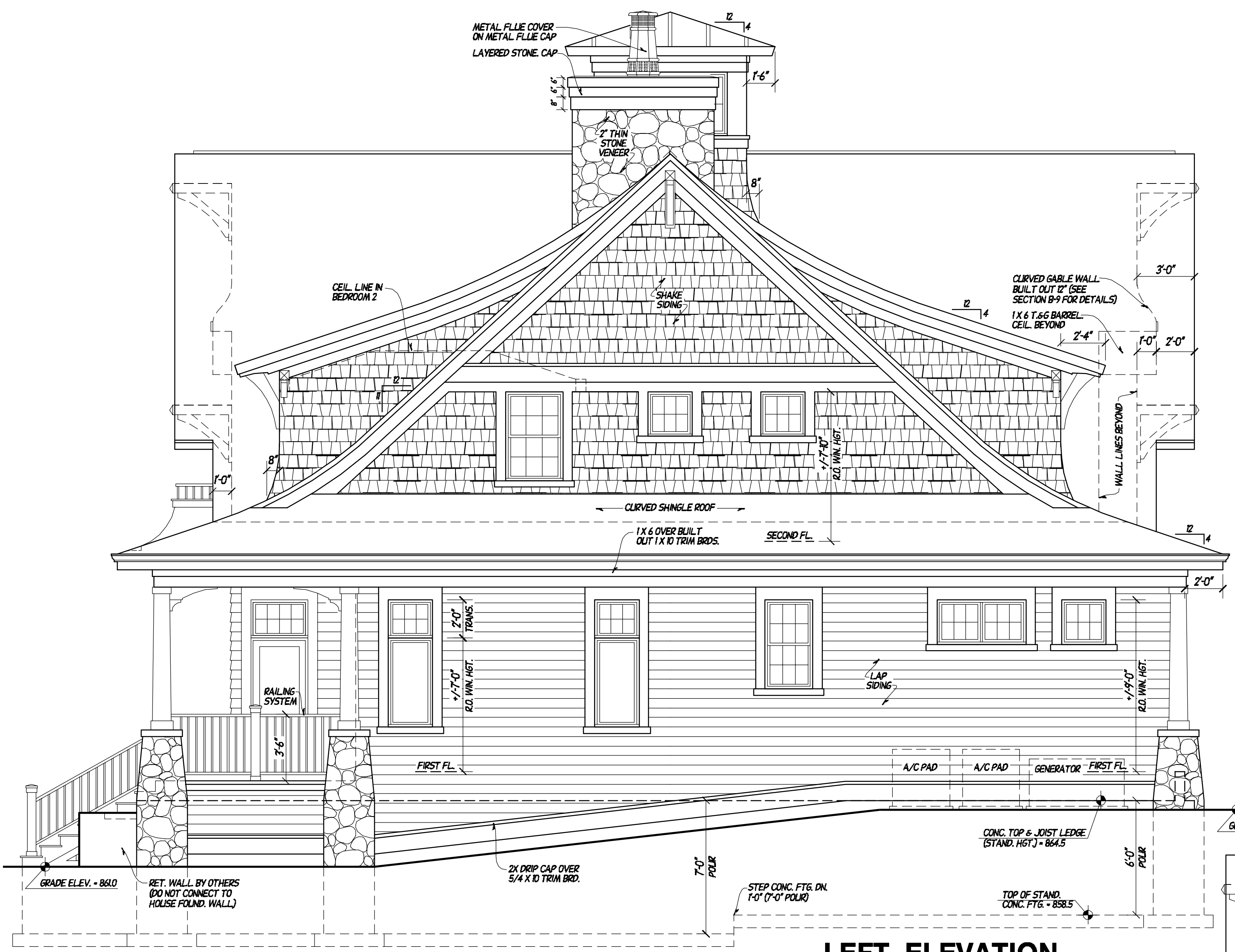
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- ALL LAP SIDING TO BE 6" TO WEATHER.
- ALL SHAKE SIDING TO BE FIBER CEMENT.
- ALL TRIM BRDS. TO BE LP SMARTSIDE.
- ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
- ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
- ALL SOFFITS TO BE 1 X 6 T&G, W/ EAVE VENTS.
- ALL GUTTERS TO BE COPPER
- ALL EXTERIOR CEILINGS TO BE 1 X 6 T&G.

CONC. FTG. DEPTH NOTE:

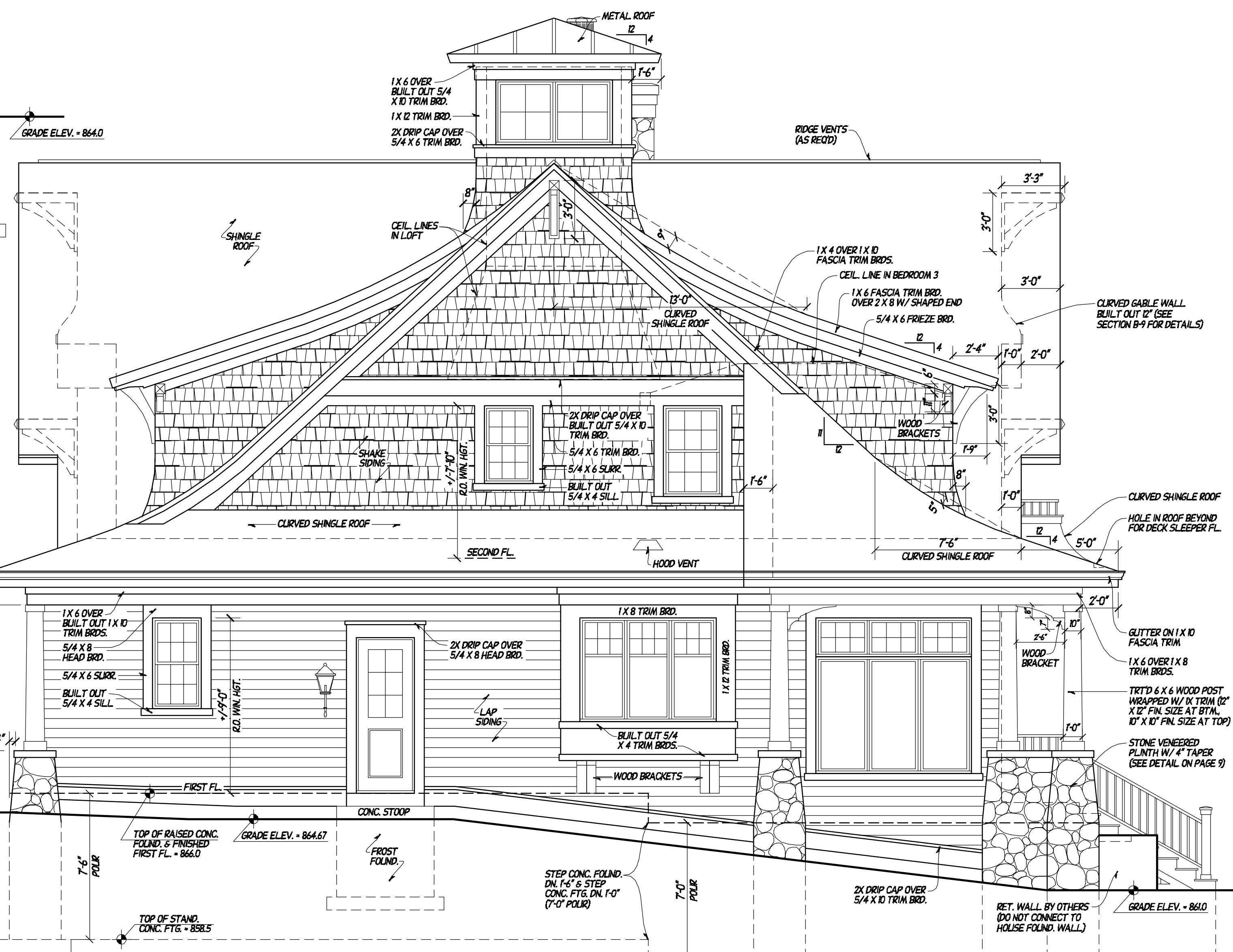
- STEP CONC. FTGS. DEEPER OR SHALLOWER AS REQ'D PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.

TOWN OF DELAFIELD SUBMITTAL - 9/11/23

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<p>BUILDER</p>					
<p>OWNER & PROJECT LOCATION MS. LEIGH PETERSON W296 W220 FRANCISCAN RD. PENAUXEE, WI, 53072</p>					
<p>DESIGNED BY R. TOM</p>	<p>COMPLETION DATE NOT COMPLETE</p>				
<p>ARCHITECTURAL DEVELOPMENT SERVICES, INC. www.architecturaldevelopmentservices.com 150 NORTH SUNNY SLOPE RD STE 260 BROOKFIELD, WI 53005 (262) 787-1701</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION		
NO.	DESCRIPTION				
<p>DRAWN BY A.L.V.</p>	<p>CHECKED R. TOM</p>				
<p>JOB NUMBER 162620-D</p>					
<p>SHEET NO. HOUSE 2 OF 10</p>					



LEFT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL NOTES:

- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- ALL LAP SIDING TO BE 6" TO WEATHER.
- ALL SHAKE SIDING TO BE FIBER CEMENT.
- ALL TRIM BRDS. TO BE LP SMARTSIDE.
- ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
- ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
- ALL SOFFITS TO BE 1X6 T&G, W/ EAVE VENTS.
- ALL GUTTERS TO BE COPPER.
- ALL EXTERIOR CEILINGS TO BE 1X6 T&G.

CONC. FTG. DEPTH NOTE:

- STEP CONC. FTGS. DEEPER OR SHALLOWER AS RECD PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.

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BUILDER

OWNER & PROJECT LOCATION
MS. LEIGH PETERSON
W296 W2920 FRANCISCAN RD.
PEWaukee, WI, 53072

TOWN OF DELAFIELD SUBMITTAL - 9/11/23

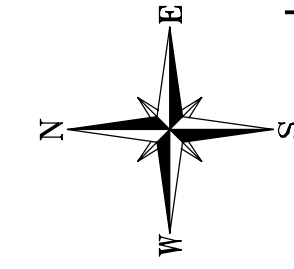
DESIGNED BY	COMPLETION DATE
R. TOM	NOT COMPLETE
DRAWN BY	REVISIONS
ALJV	
CHECKED	
R. TOM	

ARCHITECTURAL DEVELOPMENT SERVICES, INC.
www.architecturaldevelopment.com
150 NORTH SUNNY SLOPE RD STE 260
BROOKFIELD, WI 53005
(262) 787-1701

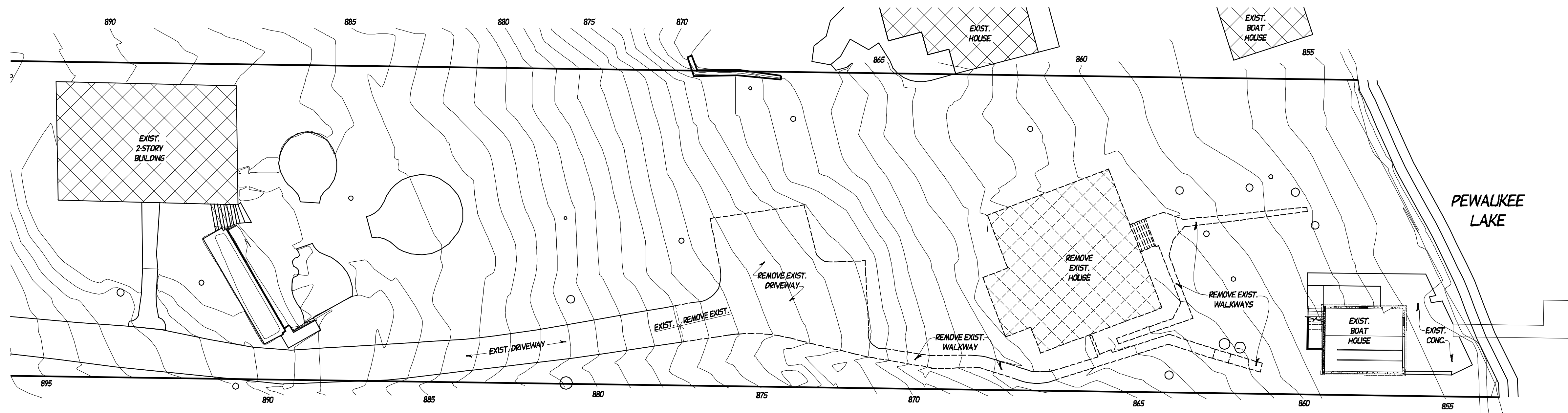
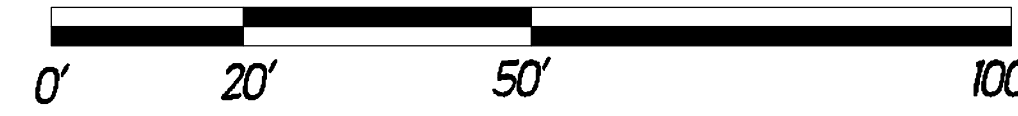
JOB NUMBER
162620-D
SHEET NO.
HOUSE
3 OF 10

EXIST. & DEMO SITE PLAN

SCALE: 1:20



NOTE:
INFORMATION ON SITE PLAN IS ONLY APPROXIMATE.
REFER TO APPROVED SURVEY PLAN FOR ACTUAL
BUILDING LOCATION AND GRADING PLAN.



LOT INFORMATION

LOT AREA = 157,486 SQ.FT.

WALKESHA COUNTY: PARKS & LAND USE /
PLANNING & ZONING:
A-2 RURAL HOME DISTRICT

BUILDING FOOTPRINT = 17.5 %
17.5 % OF 157,486 SQ.FT. = 27,560 SQ.FT.

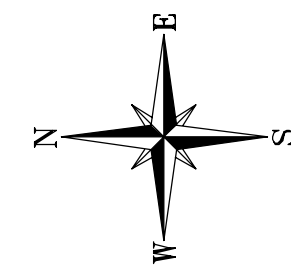
SUMMATION: THE TOTAL BUILDING FOOTPRINTS
IS LESS THAN THE 27,560 SQ.FT. ALLOWED

IMPERVIOUS SURFACES = 30 %
30 % OF 157,486 SQ.FT. = 47,246 SQ.FT.

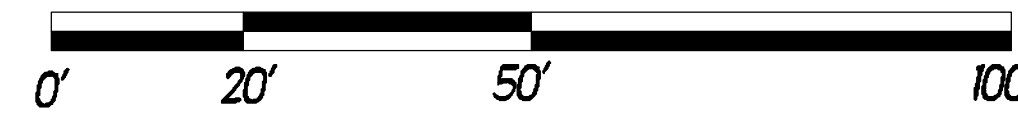
SUMMATION: THE TOTAL IMPERVIOUS SURFACES
IS LESS THAN THE 47,246 SQ.FT. ALLOWED

PROPOSED SITE PLAN

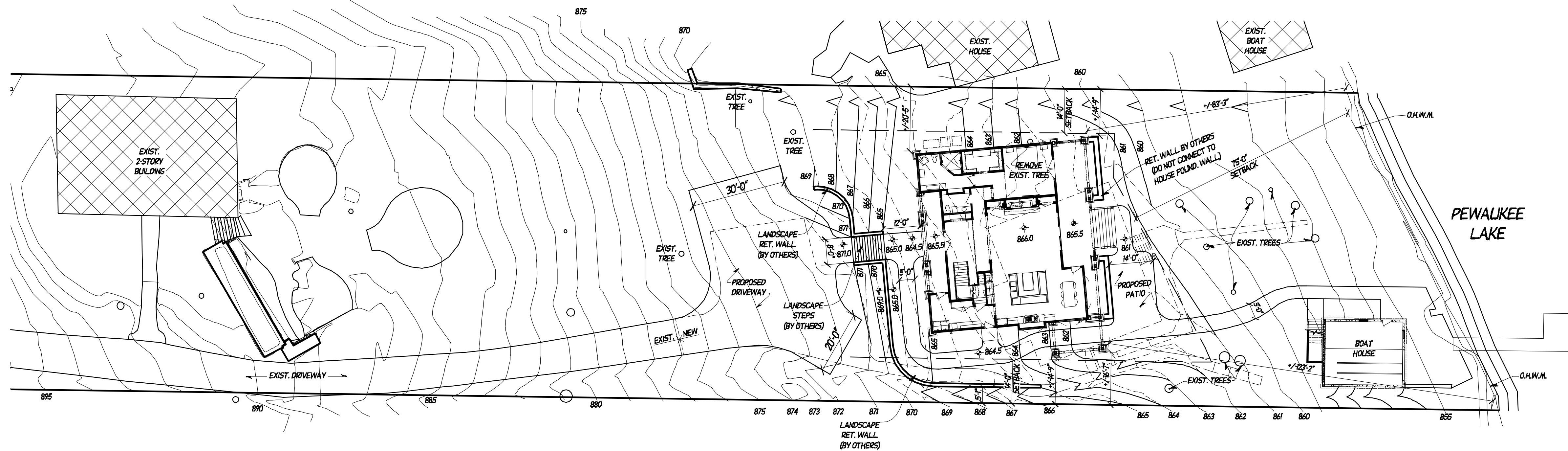
SCALE: 1:20



NOTE:
INFORMATION ON SITE PLAN IS ONLY APPROXIMATE.
REFER TO APPROVED SURVEY PLAN FOR ACTUAL
BUILDING LOCATION AND GRADING PLAN.



- ⊕ 866.0 = TOP OF RAISED CONC. FOUN. & FINISHED FIRST FL.
- ⊕ 864.5 = CONC. TOP & JOIST LEDGE (STAND. HGT.)
- ⊕ 858.5 = TOP OF STAND. CONC. FTG.



TOWN OF DELAFIELD SUBMITTAL - 9/11/23

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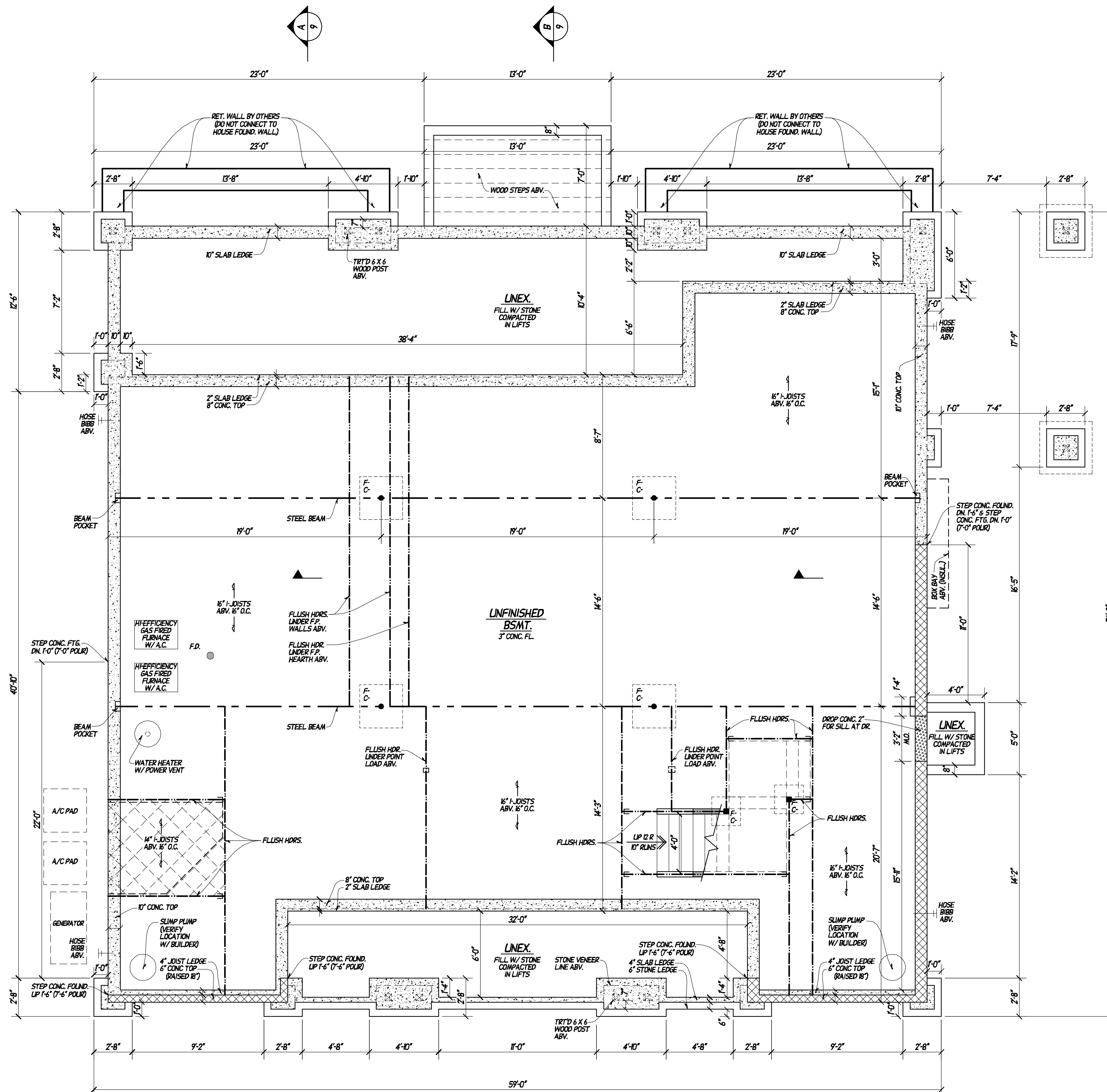
OWNER & PROJECT LOCATION
MS. LEIGH PETERSON
122% 14220 FRANCISCAN RD.
PEWALUKE, WI, 53072

DESIGNED BY
R. TOM

COMPLETION DATE	REVISIONS
R. TOM	NOT COMPLETE
ALIV	CHECKED
R. TOM	CHECKED

ARCHITECTURAL DEVELOPMENT SERVICES, INC.
www.architecturaldevelopmentservices.com
150 NORTH SUNNY SLOPE RD STE 260
BROOKFIELD, WI 53005
(262) 787-1701

JOB NUMBER
162620-D
SHEET NO.
HOUSE
4 OF 10



- COLUMN CONC. PAD FTG. LEGEND:**
- F1 36" X 36" X 12" CONC. FTGS. W/ (3) NO. 5 BARS E.W.
 - F2 42" X 42" X 12" CONC. FTGS. W/ (4) NO. 5 BARS E.W.
 - F3 48" X 48" X 12" CONC. FTGS. W/ (4) NO. 5 BARS E.W.
 - F4 54" X 54" X 12" CONC. FTGS. W/ (5) NO. 5 BARS E.W.
- COLUMN LEGEND:**
- C1 3" DIA. STD. STEEL PIPE COL. AT 7.58 LB./FT. 20" WALL 8 X 8 X 1/2" BASE PLATE
 - C2 3 1/2" DIA. STD. STEEL PIPE COL. AT 9.12 #/FT. WALL = 20" 8 X 8 X 5/8" BASE PLATE

- FRAMING NOTES:**
- ALL FIRST FL. JOISTS TO BE 16" I-JOISTS AT 16" O.C., EXCEPT WHERE NOTED.
 - ALL 2 X 4 WALLS 10'-0" OR GREATER TO BE LSL OR LVL STUDS.
 - ALL LVL'S TO BE 2.0E GRADE, EXCEPT WHERE NOTED.
 - ALL LSL'S TO BE 1.3E GRADE, EXCEPT WHERE NOTED.
 - ALL PSL'S TO BE 2.0E GRADE, EXCEPT WHERE NOTED.
- DEFLECTION DESIGN VALUES FOR FL. JOISTS:**
- LIVE LOAD DEFLECTION FOR CARPET OR WOOD FINISHES SHOULD BE L/480 OR STIFFER.
 - LIVE LOAD DEFLECTION FOR FLOORS WITH STANDARD TILE OR STONE FINISHES SHOULD BE L/720 OR STIFFER.
 - FLOORS WITH FOREIGN OR NON-STANDARD TILE OR OTHER BRITTLE TYPE MATERIAL, LIVE LOAD DEFLECTION DESIGN VALUES SHOULD BE VERIFIED WITH THE MANUFACTURER. IN NO INSTANCE SHOULD THE LIVE LOAD DEFLECTION DESIGN VALUE BE LESS THAN L/720.

▨ = AREA WITH 14" I-JOISTS ABV.

FOUNDATION PLAN
SCALE: 1/4"=1'-0"

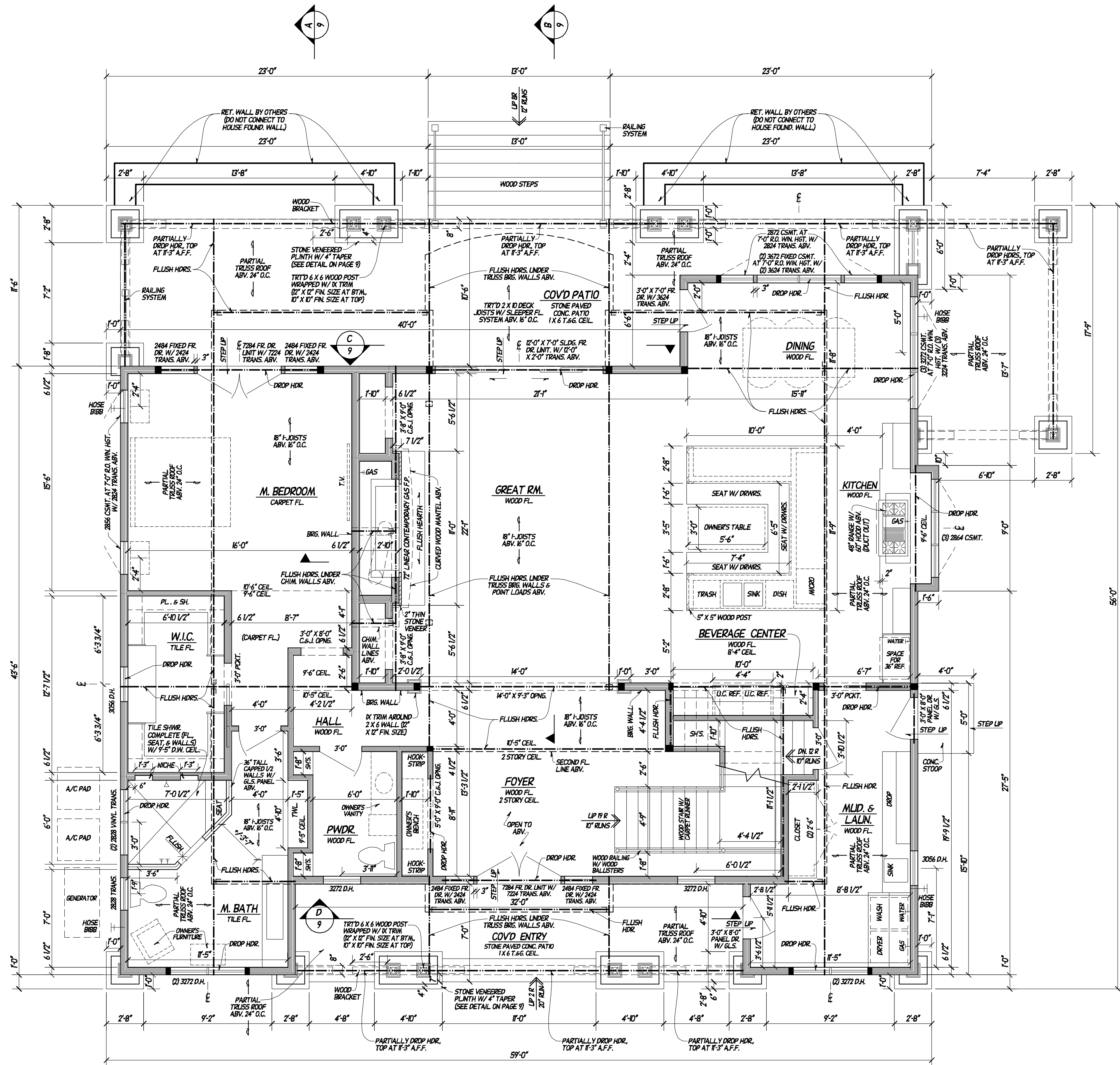
- NOTES:**
- 6'-0" POLR, EXCEPT WHERE NOTED.
 - POLURED CONC. FOUND. WALLS W/ STEEL REBAR.
 - ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.

CONC. FTG. DEPTH NOTE:
● STEP CONC. FTGS. DEEPER OR SHALLOWER AS REQ'D PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.

- WALL HATCH LEGEND:**
- ▨ MASONRY LEDGES (HGT'S. AS REQ'D)
 - ▨ CONC. TOP & JOIST LEDGE (STAND. HGT.)
 - ▨ RAISED CONC. TOP (LIP 1'-6" FROM STAND.)

TOWN OF DELAFIELD SUBMITTAL - 9/11/23
 OWNER & PROJECT LOCATION
MS. LEIGH PETERSON
 1226 W220 FRANCISCAN RD.
 PEWaukee, WI, 53072
 ARCHITECTURAL DEVELOPMENT SERVICES, INC.
 www.architecturaldevelopmentservices.com
 150 NORTH SUNNY SLOPE RD STE 260
 BROOKFIELD, WI 53005
 (262) 787-1701
 DESIGNED BY R. TOM
 DRAWN BY M.L.V.
 CHECKED R. TOM
 COMPLETION DATE NOT COMPLETE
 REVISIONS
 JOB NUMBER **162620-D**
 SHEET NO. **HOUSE 5 OF 10**

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FRAMING NOTES:

- ALL SECOND FL. JOISTS TO BE 18" I-JOISTS AT 16" O.C., EXCEPT WHERE NOTED.
- ALL 2 X 4 WALLS 10'-0" OR GREATER TO BE LSL OR LVL STUDS.
- ALL LVL'S TO BE 2.0E GRADE, EXCEPT WHERE NOTED.
- ALL LVL'S TO BE 1.3E GRADE, EXCEPT WHERE NOTED.
- ALL PSL'S TO BE 2.0E GRADE, EXCEPT WHERE NOTED.

DEFLECTION DESIGN VALUES FOR FL. JOISTS:

- LIVE LOAD DEFLECTION FOR CARPET OR WOOD FINISHES SHOULD BE L/480 OR STIFFER.
- LIVE LOAD DEFLECTION FOR FLOORS WITH STANDARD TILE OR STONE FINISHES SHOULD BE L/720 OR STIFFER.
- FLOORS WITH FOREIGN OR NON-STANDARD TILE OR OTHER BRITTLE TYPE MATERIAL, LIVE LOAD DEFLECTION DESIGN VALUES SHOULD BE VERIFIED WITH THE MANUFACTURER. IN NO INSTANCE SHOULD THE LIVE LOAD DEFLECTION DESIGN VALUE BE LESS THAN L/720.

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

FINISHED LIVING AREA: 2,399 SQ.FT.
 COVID ENTRY: 224 SQ.FT.
 COVID PATIO & STAIR: 603 SQ.FT.

FIRST FL. FINISHED LIVING AREA: 2,399 SQ.FT.
 SECOND FL. FINISHED LIVING AREA: 1,447 SQ.FT.
 TOTAL: 3,846 SQ.FT.

NOTES:

- 10'-6" FIRST FL. ROUGH FRAMING WALL HGT., EXCEPT WHERE NOTED.
- WIN. NOTES:
 -ALL WINDOW NUMBERS INDICATE APPROX. FRAME SIZE (IN INCHES), 9'-0" R.O. WIN. HGT., EXCEPT WHERE NOTED.
 -ALL WIN. & DR. R.O. HGT'S. ARE +/-, VERIFY ACTUAL R.O. HGT'S. W/ WIN & DR. MANUF. ADJ. AS REQUIRED.
- ALL F.F. INT. DOORS TO BE 8'-0", EXCEPT WHERE NOTED.
- ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.

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OWNER & PROJECT LOCATION

MS. LEIGH PETERSON
 162620 FRANCISCAN RD.
 PENAUXEE, WI, 53072

DESIGNED BY

COMPLETION DATE

REVISIONS

NOT COMPLETE

REVISIONS

ARCHITECTURAL DEVELOPMENT SERVICES, INC.

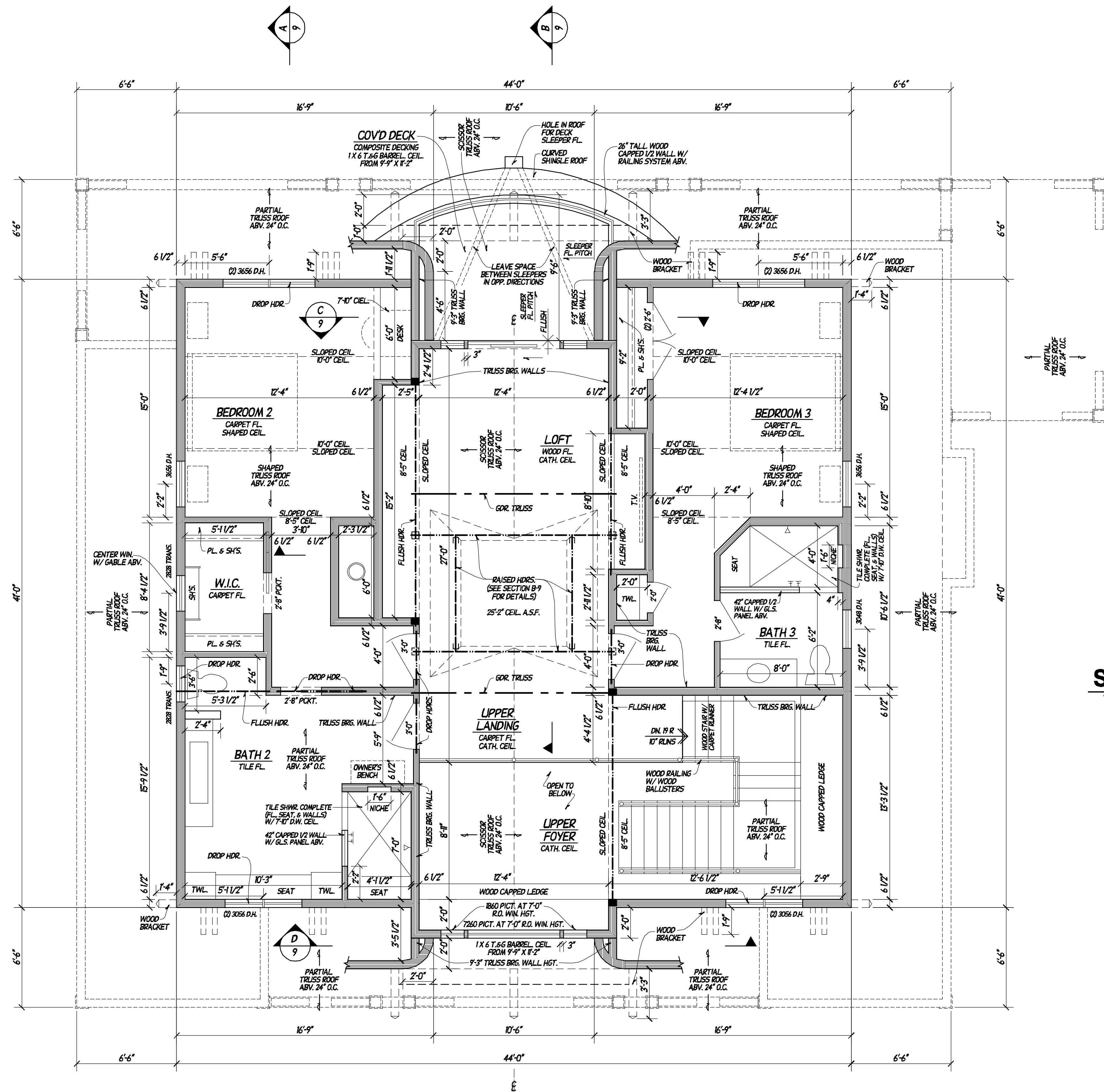
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SHEET NO.
 HOUSE
 6 OF 10

TOWN OF DELAFIELD SUBMITTAL - 9/11/23



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FINISHED LIVING AREA: 1447 SQ.FT.
OPEN DECK: 105 SQ.FT.

NOTES:

- 8'-6" SECOND FL. ROUGH FRAMING WALL HGT., EXCEPT WHERE NOTED.
- WIN. NOTES:
- ALL WINDOW NUMBERS INDICATE APPROX. FRAME SIZE (IN INCHES), 7'-10" R.O. WIN. HGT., EXCEPT WHERE NOTED.
- ALL WIN. & DR. R.O. HGT'S. ARE +/-, VERIFY ACTUAL R.O. HGT'S. W/ WIN & DR. MANUF. ADJ. AS REQUIRED
- ALL S.F. INT. DOORS TO BE 7'-0", EXCEPT WHERE NOTED.
- ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.

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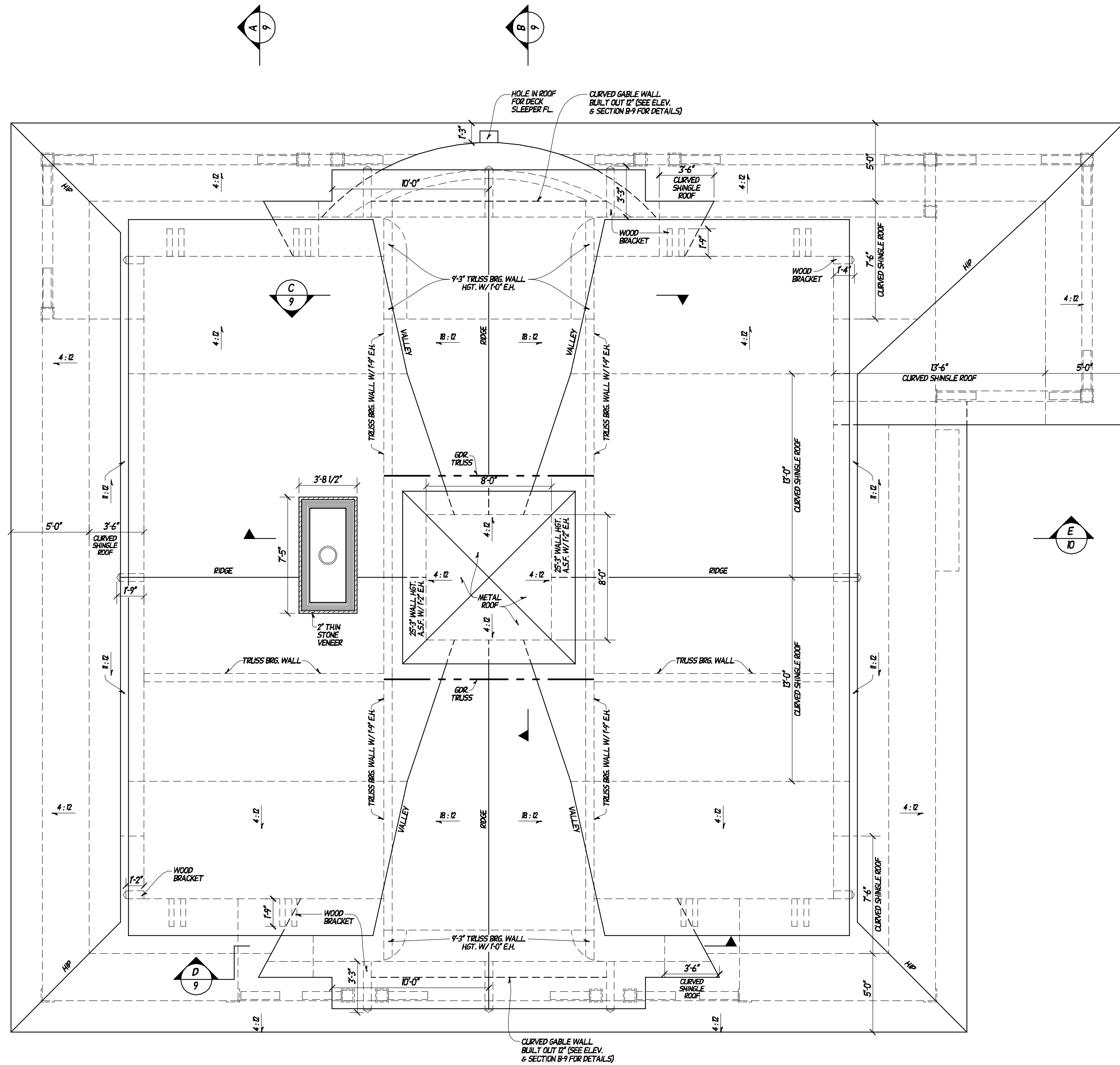
OWNER & PROJECT LOCATION
MS. LEIGH PETERSON
1226 W220 FRANCISCAN RD.
PEWaukee, WI, 53072

TOWN OF DELAFIELD SUBMITTAL - 9/11/23

DESIGNED BY	COMPLETION DATE
R. TOM	NOT COMPLETE
DRAWN BY	REVISIONS
M.J.V.	
CHECKED	
R. TOM	

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(262) 787-1701

JOB NUMBER
162620-D
SHEET NO.
HOUSE
7 OF 10



ROOF PLAN

SCALE: 1/4"=1'-0"

- NOTES:**
- 10'-6" FIRST FL. ROUGH FRAMING WALL HGT. EXCEPT WHERE NOTED.
 - 8'-6" SECOND FL. ROUGH FRAMING WALL HGT. EXCEPT WHERE NOTED.
 - TRUSS ROOF AT 24" O.C. W/ METAL TIE DOWNS. ENTIRE HOUSE FINAL DESIGN AND LAYOUT BY TRUSS MANUFACTURER.
 - SEE SECTIONS FOR TRUSS ENERGY HEEL HEIGHTS & DETAILS.
 - ALL ROOF PITCHES AS NOTED ON PLAN.
 - INSTALL RIDGE VENTS AS REQ'D.
 - INSTALL ICE & WATER SHIELD MEMBRANE AT ALL VALLEYS & DRIP EDGES.
 - ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.

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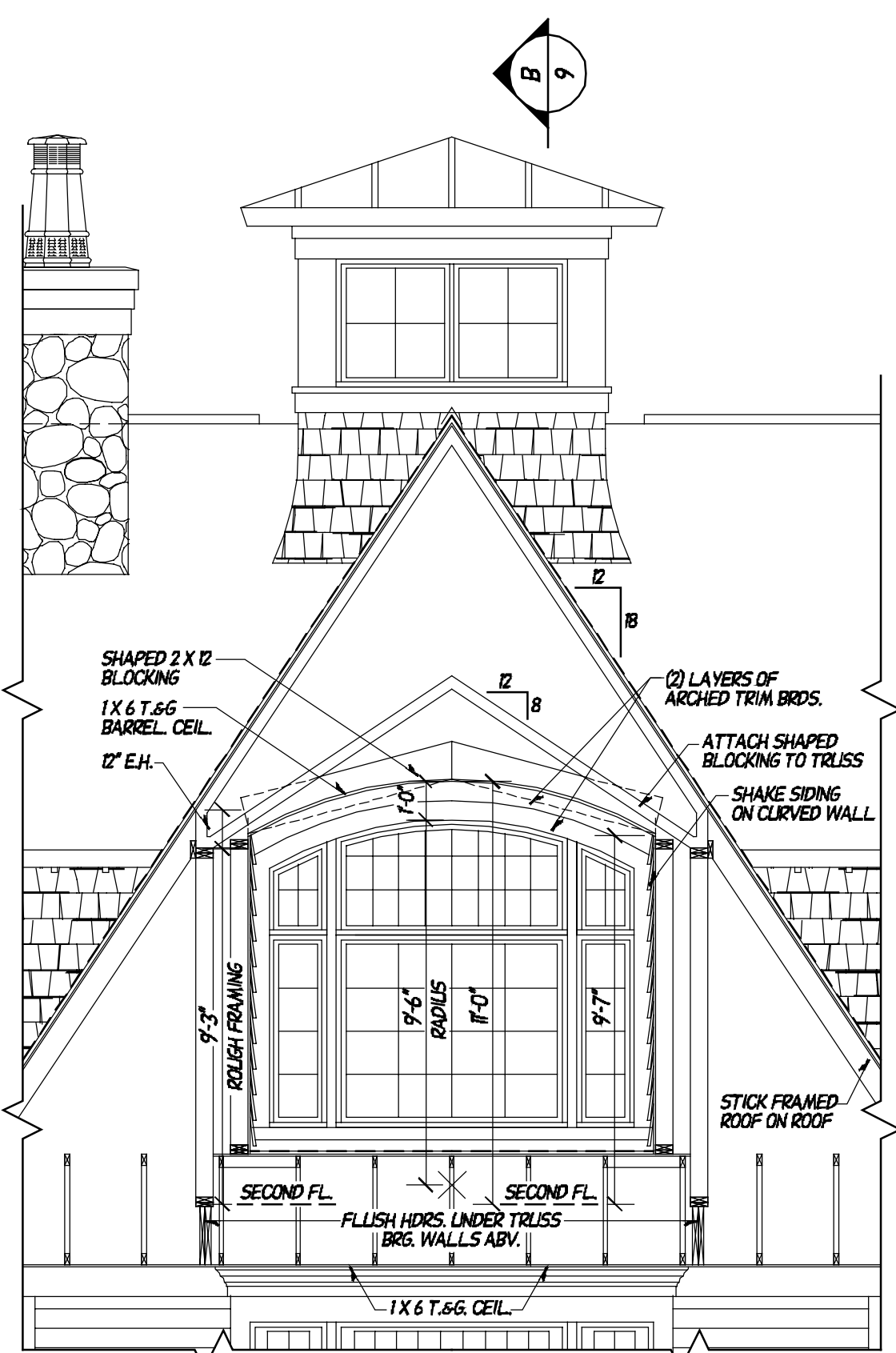
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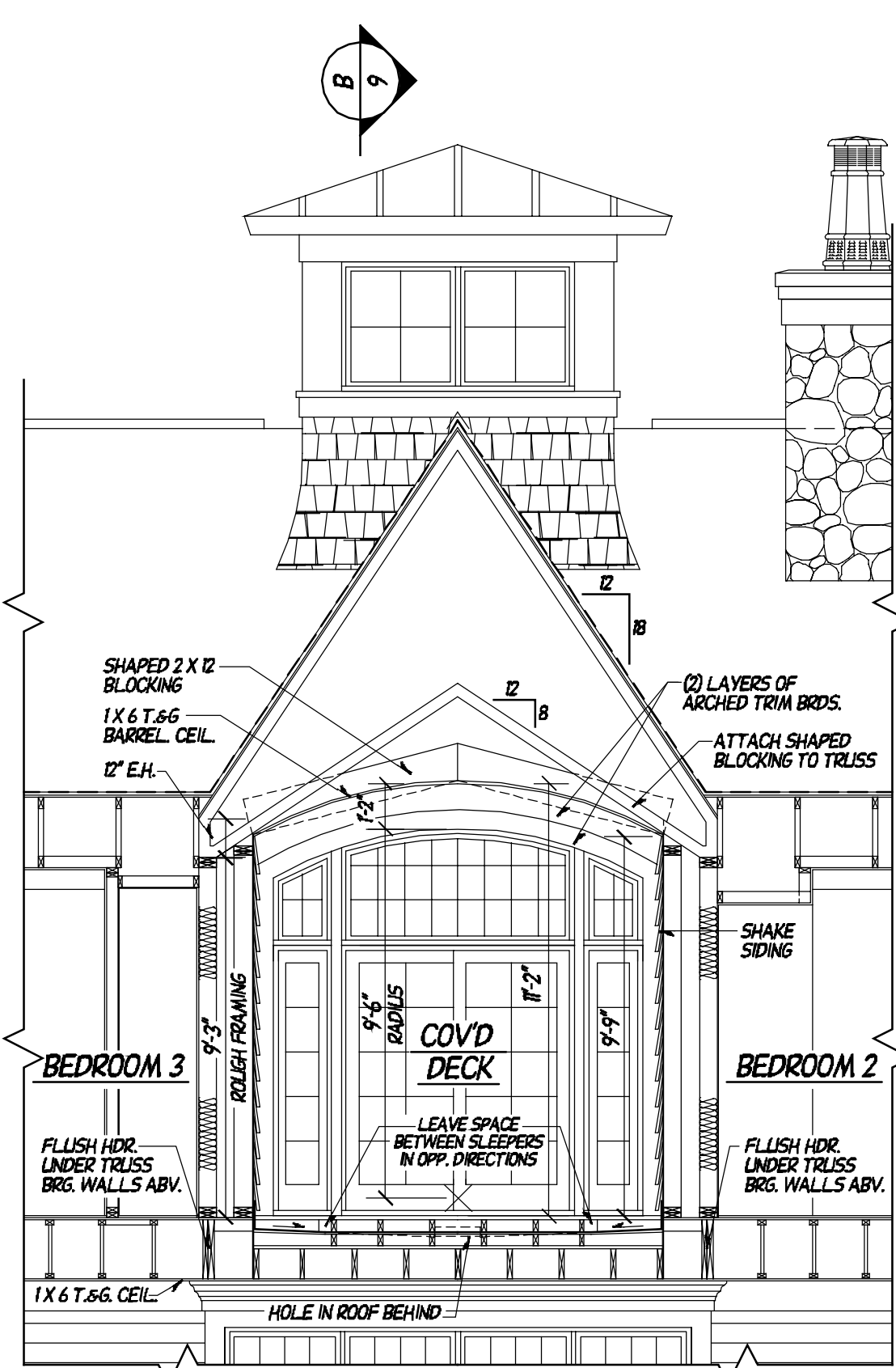
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ALJV	
CHECKED	
R. TOM	

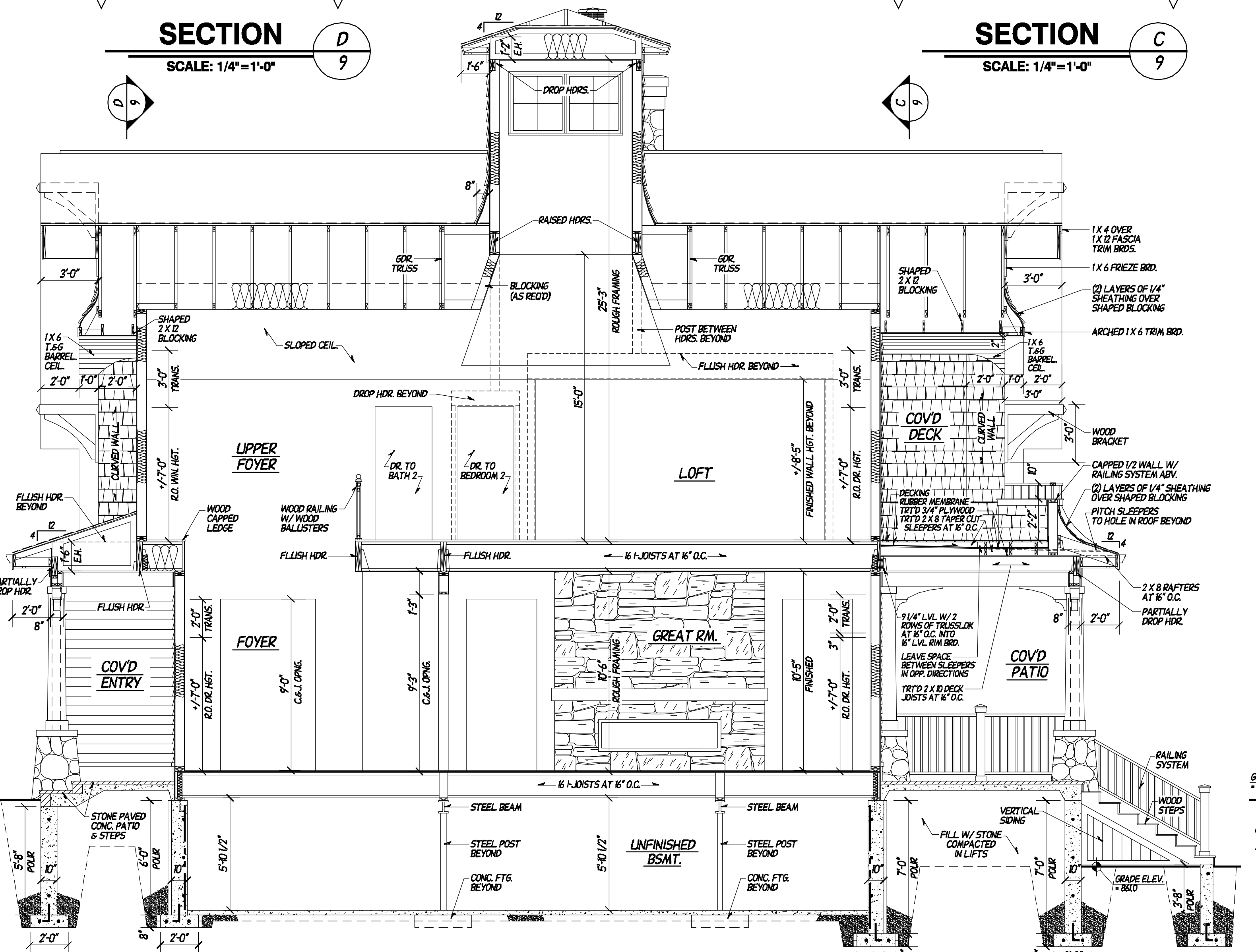
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SECTION D
SCALE: 1/4" = 1'-0"



SECTION C
SCALE: 1/4" = 1'-0"



SECTION B
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL NOTES:

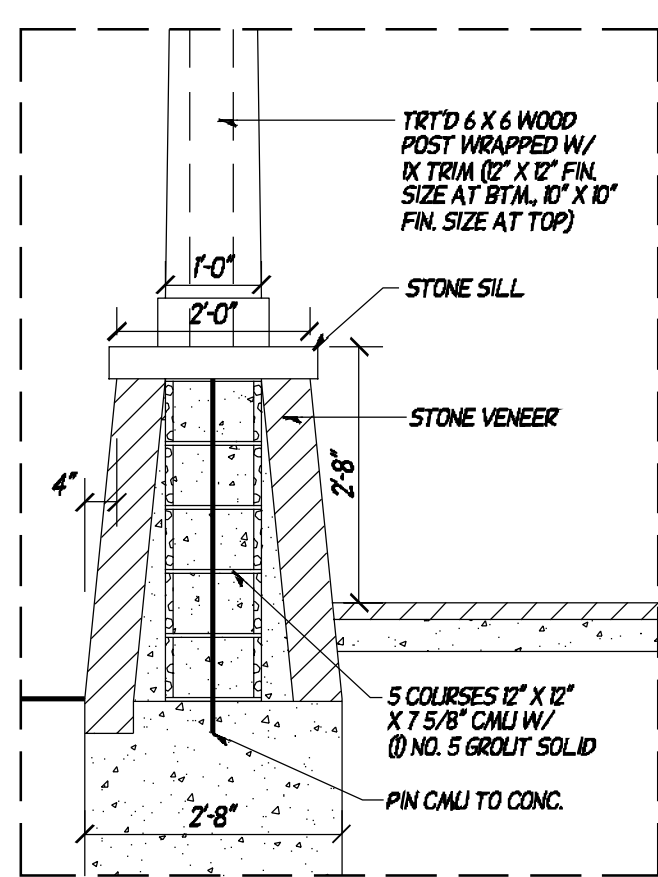
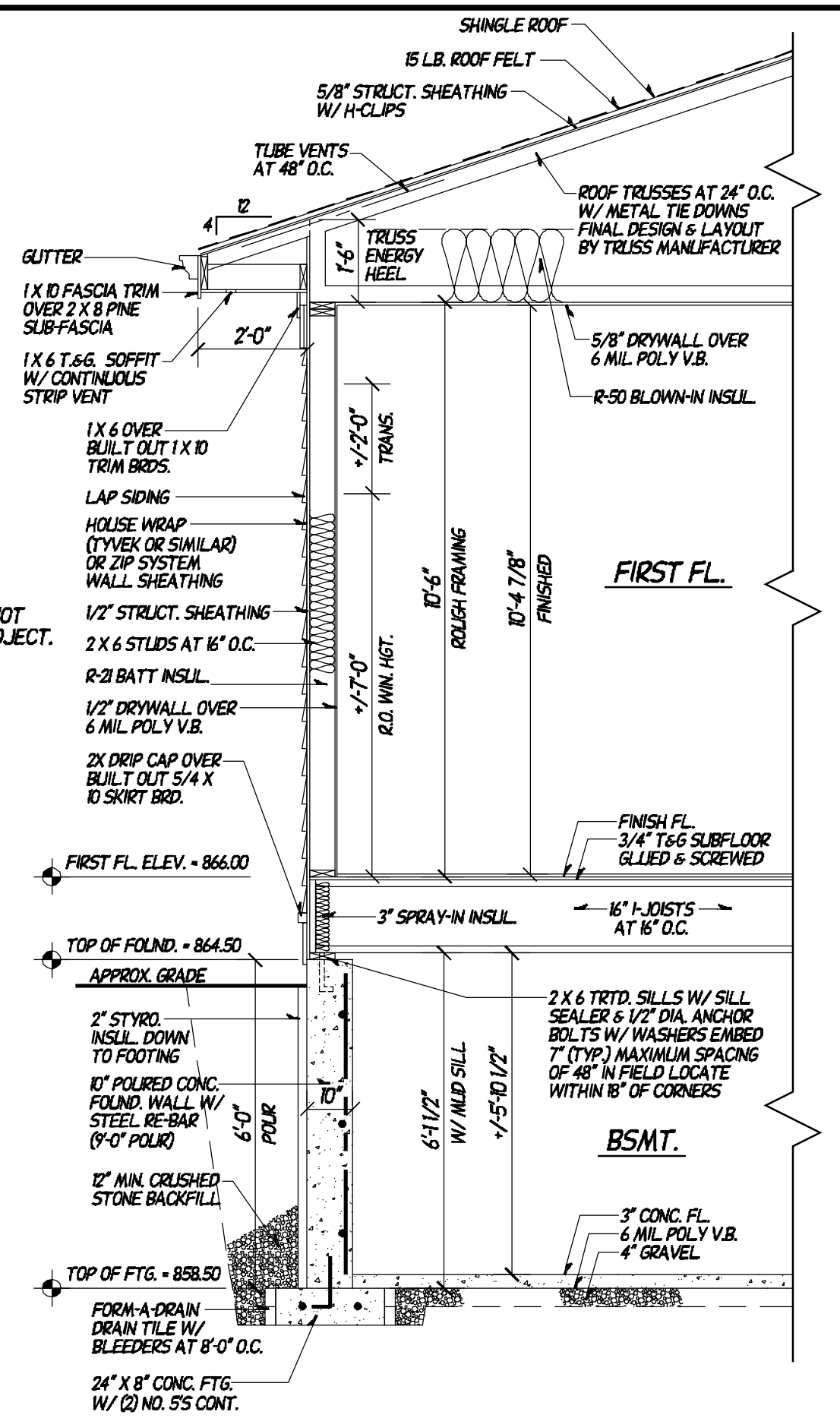
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- ALL LAP SIDING TO BE 6" TO WEATHER.
- ALL SHAKE SIDING TO BE FIBER CEMENT.
- ALL TRIM BRDS. TO BE LP SMARTSIDE.
- ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
- ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
- ALL SOFFITS TO BE 1X6 T&G W/ EAVE VENTS.
- ALL GUTTERS TO BE COPPER.
- ALL EXTERIOR CEILING TO BE 1X6 T&G.

CONC. FTG. DEPTH NOTE:

- STEP CONC. FTGS. DEEPER OR SHALLOWER AS REQ'D PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.

GENERIC TYP. SECTION

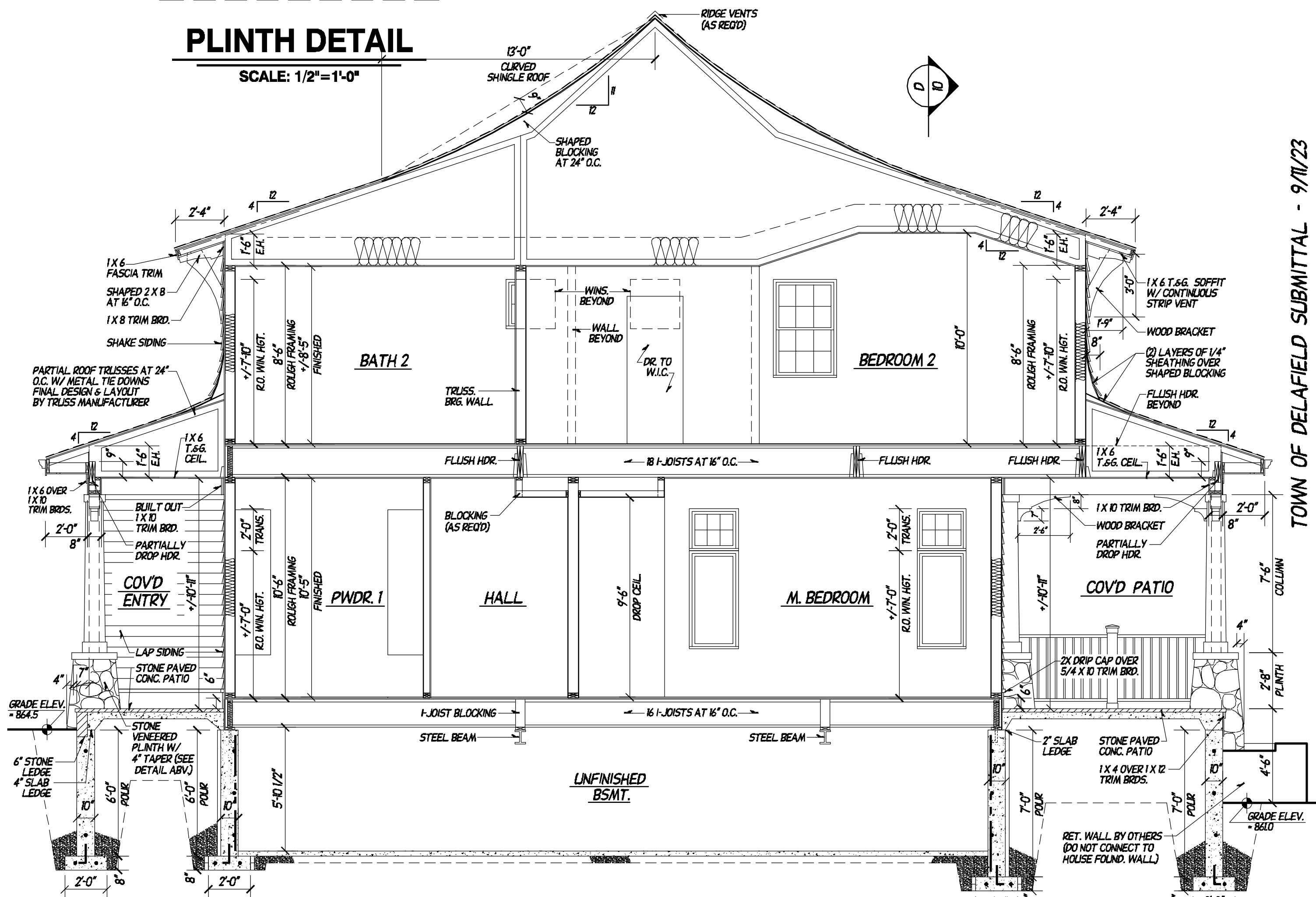
SCALE: 3/8" = 1'-0"
TYP. SECTION NOTES:
● THIS SECTION IS FOR GENERAL INFO ONLY, IT IS NOT SPECIFIC TO ANY PARTICULAR AREA OF THIS PROJECT.
● REFER TO THIS SECTION FOR ALL NON-LABELLED MATERIALS ON OTHER SECTIONS.
● SEE EXTERIOR MATERIAL NOTES FOR MATERIAL SPECIFICATIONS.



PLINTH DETAIL
SCALE: 1/2" = 1'-0"

POURED CONC. WALL DETAIL

SCALE: 3/8" = 1'-0"



SECTION A
SCALE: 1/4" = 1'-0"

DESIGNED BY: COMPLETION DATE: NOT COMPLETE

DRAWN BY: R. TOM

CHECKED: B. TOM

REVISIONS:

OWNER & PROJECT LOCATION: MS. LEIGH PETERSON, 1226 W220 FRANCISCAN RD., PEWEEKEE, WI, 53072

TOWN OF DELAFIELD SUBMITTAL - 9/11/23

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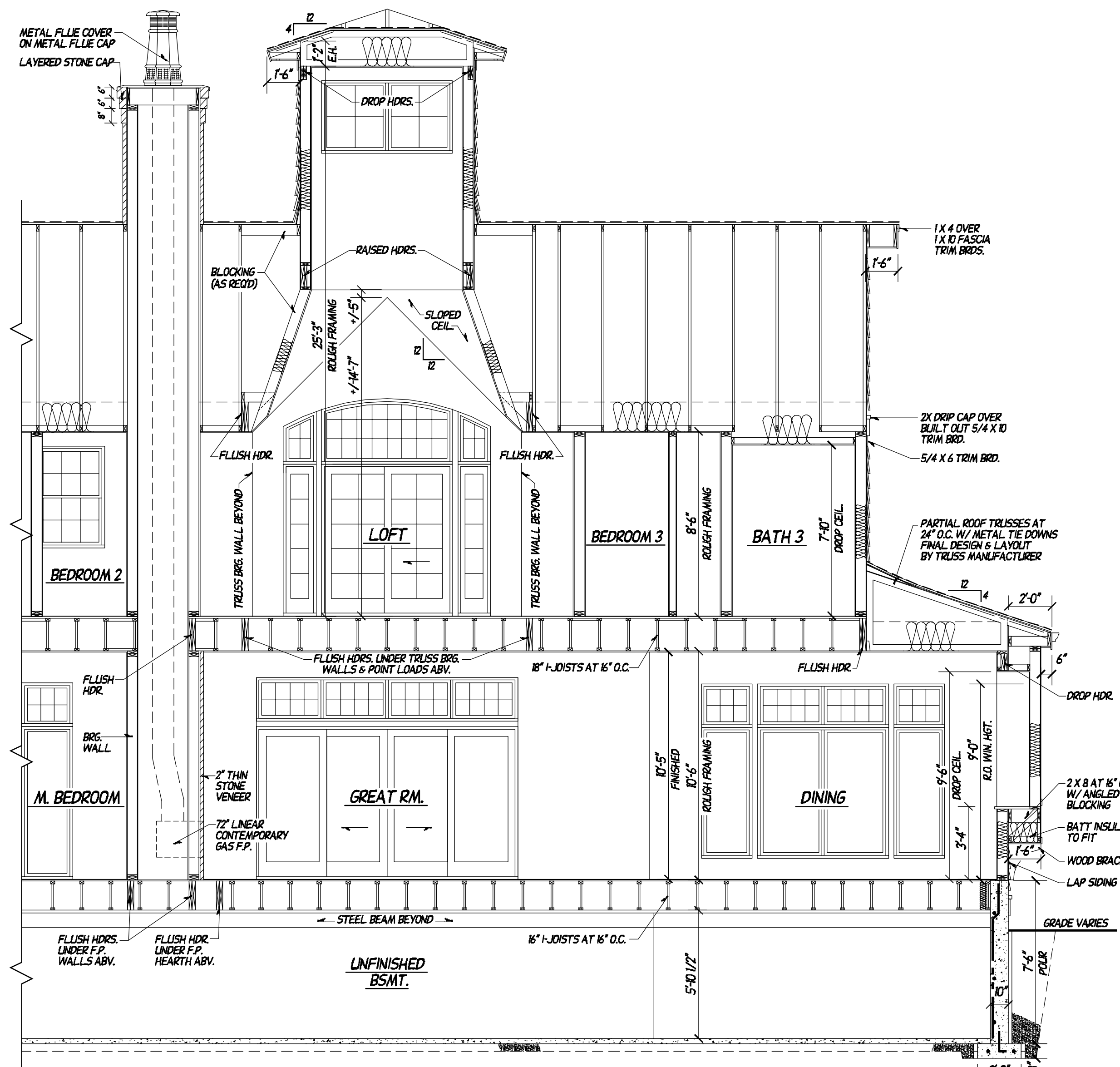
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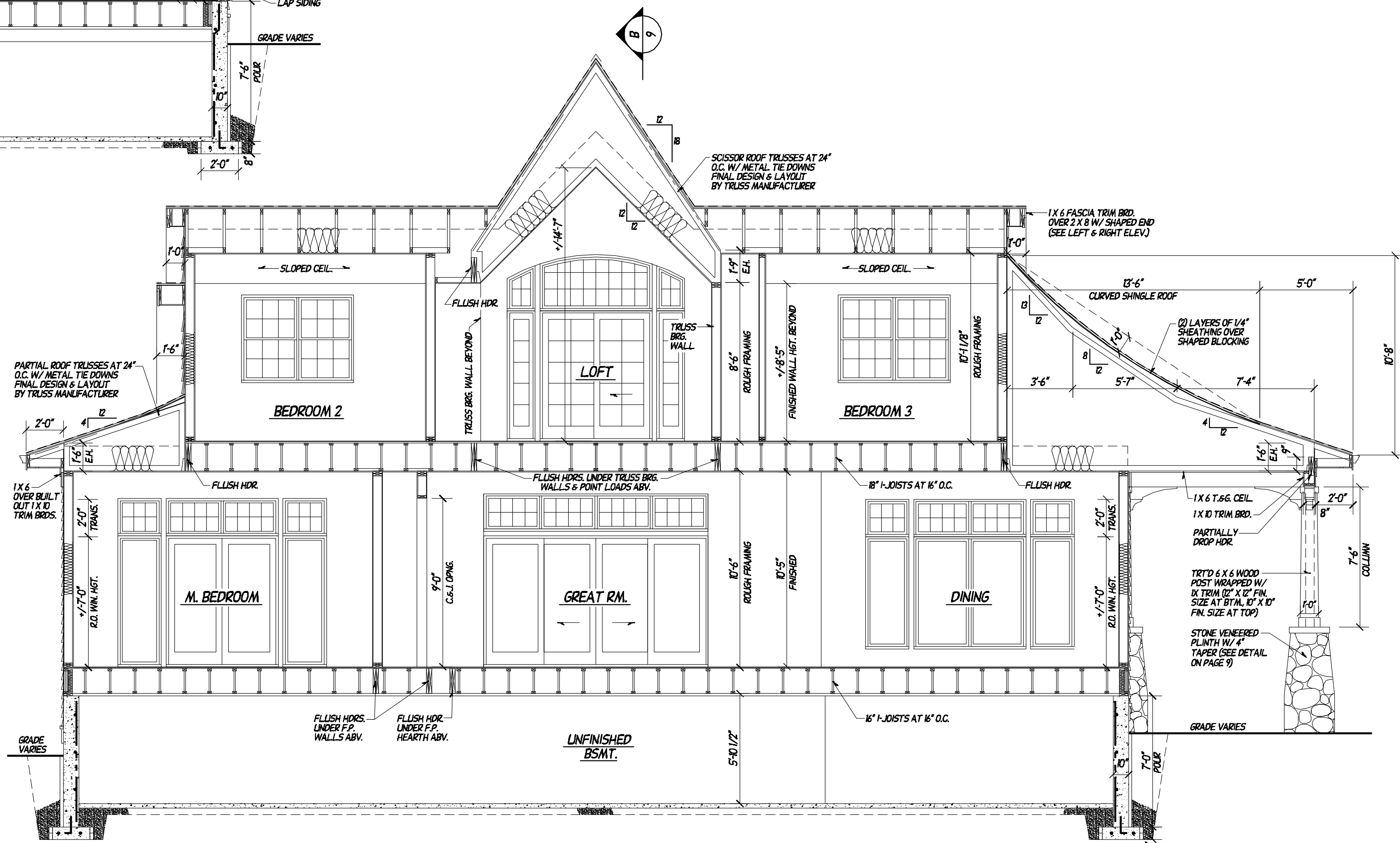
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JOB NUMBER: 162620-D

SHEET NO. HOUSE: 9 OF 10



SECTION E
SCALE: 1/4"=1'-0"



SECTION F
SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL NOTES:

- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
- ALL LAP SIDING TO BE 6" TO WEATHER.
- ALL SHAKE SIDING TO BE FIBER CEMENT.
- ALL TRIM BRDS. TO BE LP SMARTSIDE.
- ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
- ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
- ALL SOFFITS TO BE 1 X 6 T&G. W/ EAIVE VENTS.
- ALL GUTTERS TO BE COPPER.
- ALL EXTERIOR CEILING TO BE 1 X 6 T&G.

CONC. FTG. DEPTH NOTE:

- STEP CONC. FTGS. DEEPER OR SHALLOWER AS RECD PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.

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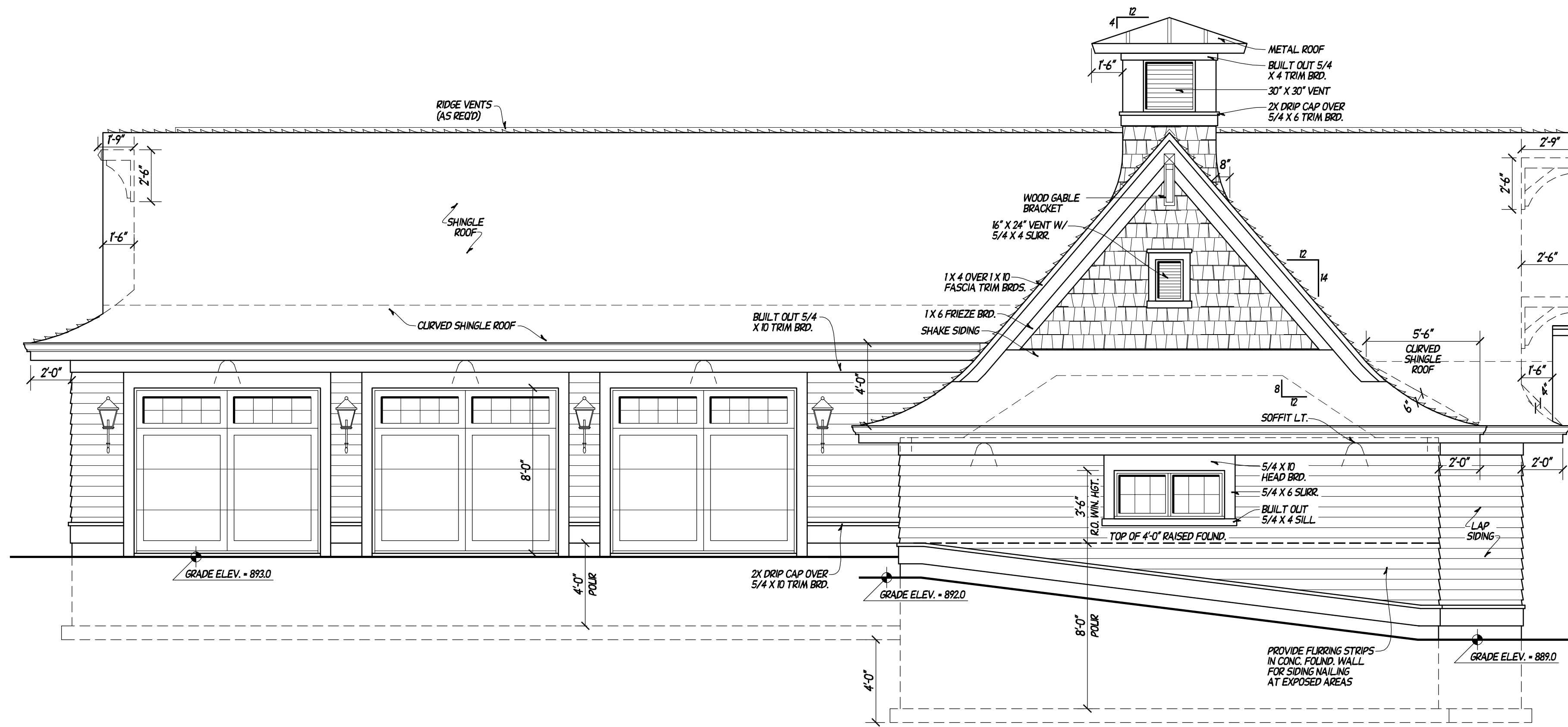
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SHEET NO.
HOUSE
10 OF 10



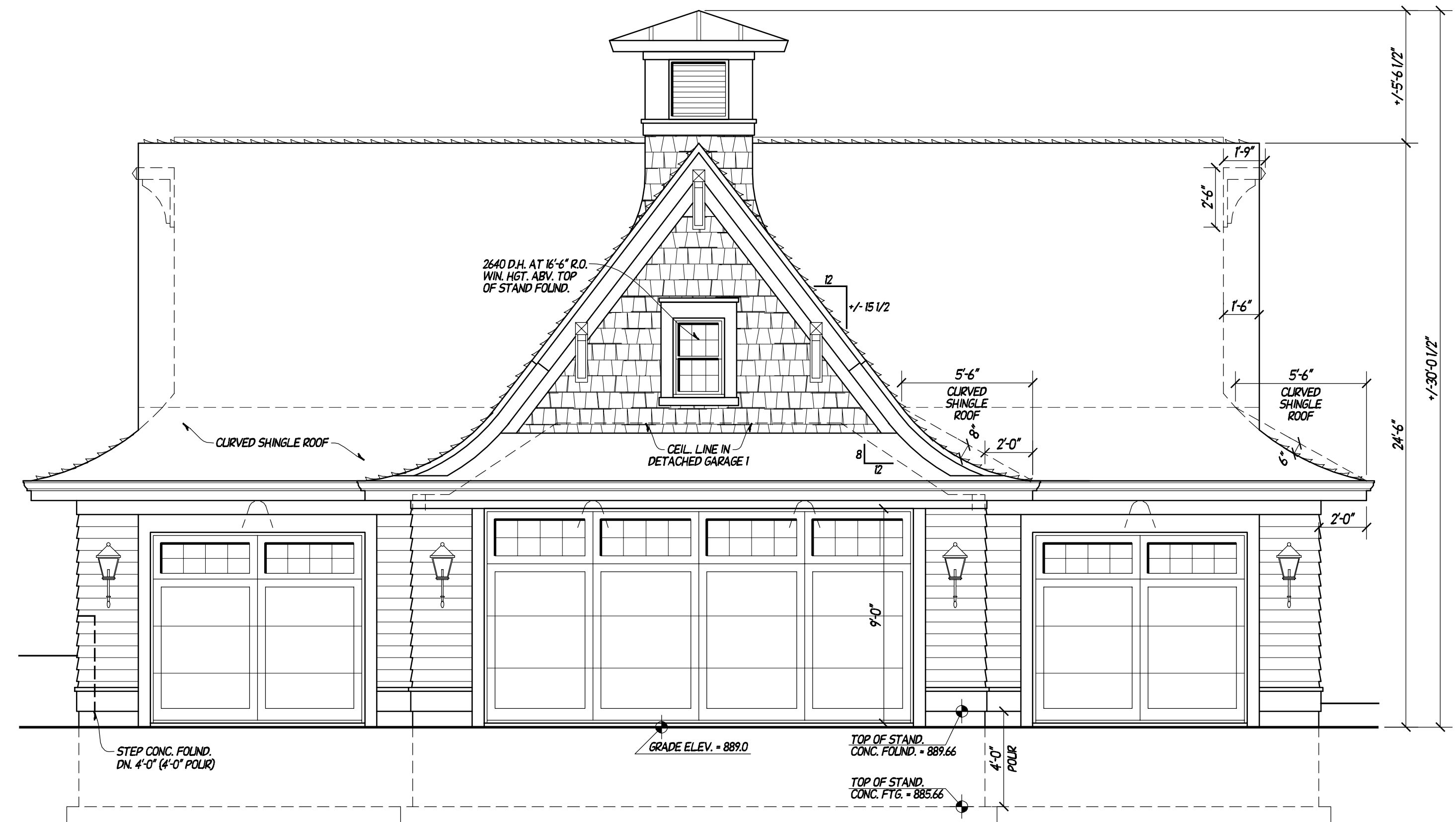
LEFT ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
 ● ALL MATERIALS & DETAILS TO MATCH PROPOSED HOUSE ON SITE

- EXTERIOR MATERIAL NOTES:**
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
 - ALL LAP SIDING TO BE 6" TO WEATHER
 - ALL SHAKE SIDING TO BE FIBER CEMENT.
 - ALL TRIM BRDS. TO BE LP SMARTSIDE.
 - ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
 - ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
 - ALL SOFFITS TO BE 1" X 6" T&G. W/ EAVE VENTS.
 - ALL GUTTERS TO BE COPPER
 - ALL EXTERIOR CEILINGS TO BE 1" X 6" T&G.

CONC. FTG. DEPTH NOTE:
 ● STEP CONC. FTGS. DEEPER OR SHALLOWER AS REQD PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.



FRONT ELEVATION

SCALE: 1/4"=1'-0"

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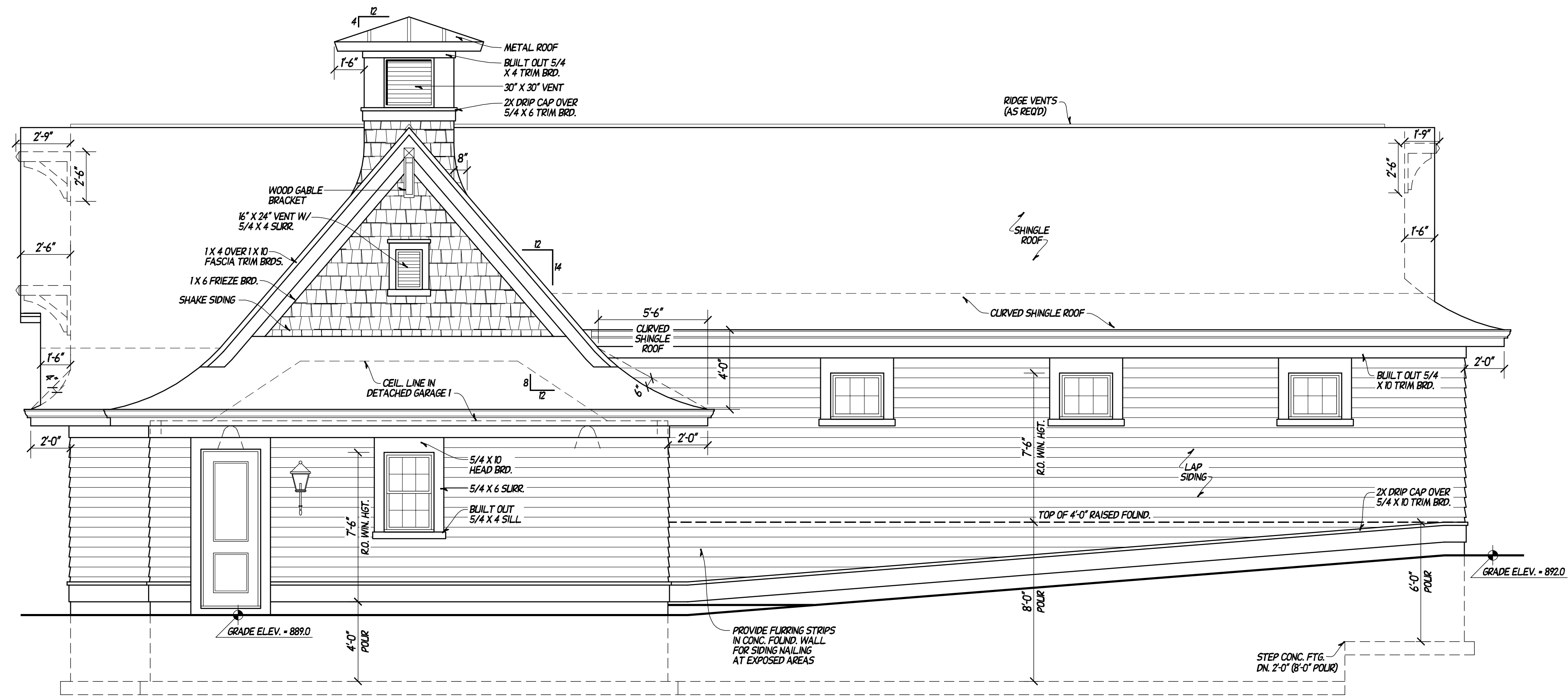
TOWN OF DELAFIELD SUBMITTAL - 9/11/23

DESIGNED BY	COMPLETION DATE	REVISIONS
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DRAWN BY		CHECKED
M.J.V.		B. TOM

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JOB NUMBER
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SHEET NO.
DETACHED GARAGE
1 OF 5



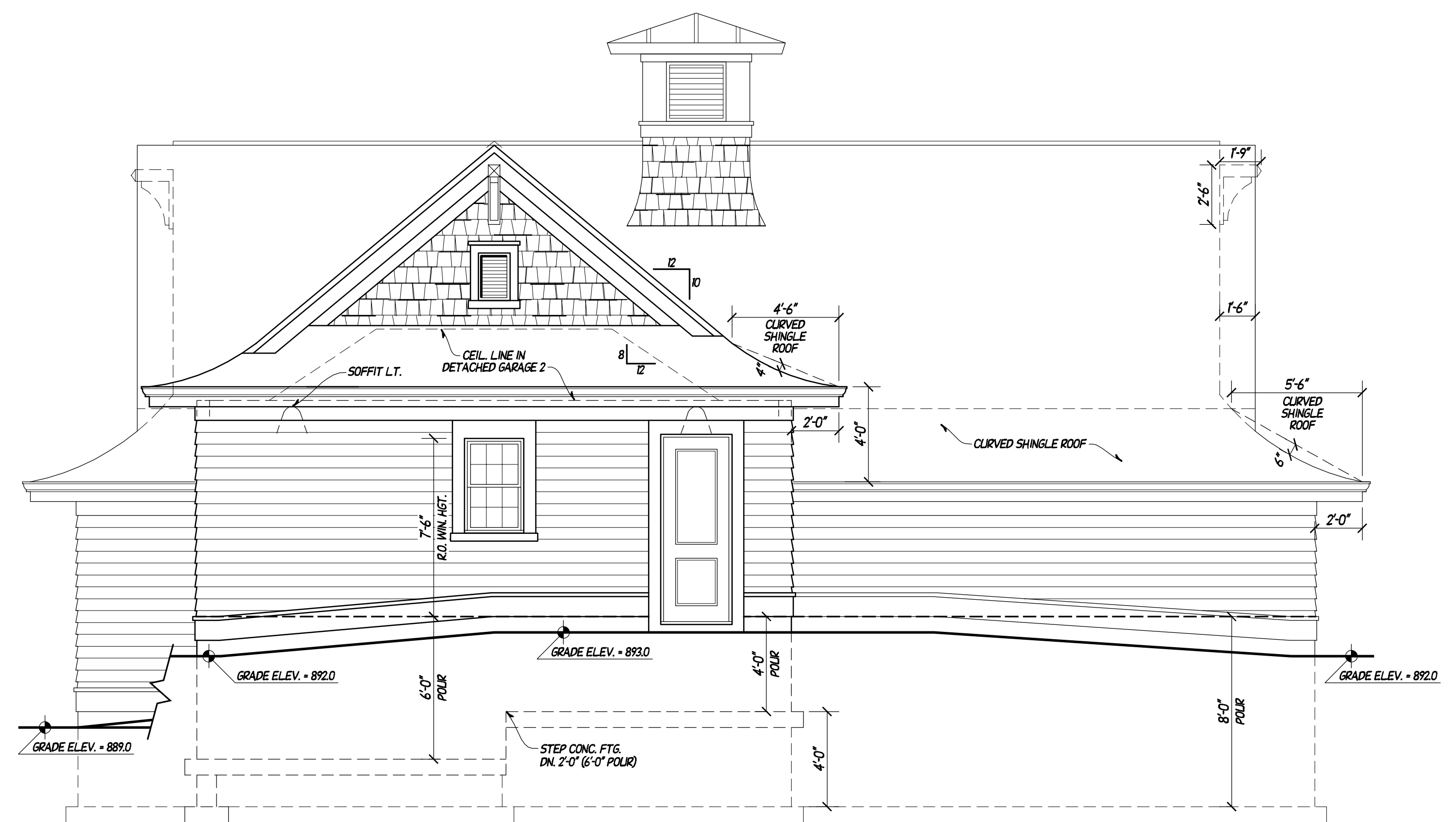
RIGHT ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
 ● ALL MATERIALS & DETAILS TO MATCH PROPOSED HOUSE ON SITE

- EXTERIOR MATERIAL NOTES:**
- INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
 - ALL LAP SIDING TO BE 6" TO WEATHER
 - ALL SHAKE SIDING TO BE FIBER CEMENT.
 - ALL TRIM BRDS. TO BE LP SMARTSIDE.
 - ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
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 - ALL EXTERIOR CEILINGS TO BE 1 X 6 T&G.

CONC. FTG. DEPTH NOTE:
 ● STEP CONC. FTGS. DEEPER OR SHALLOWER AS REQD PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.



REAR ELEVATION

SCALE: 1/4"=1'-0"

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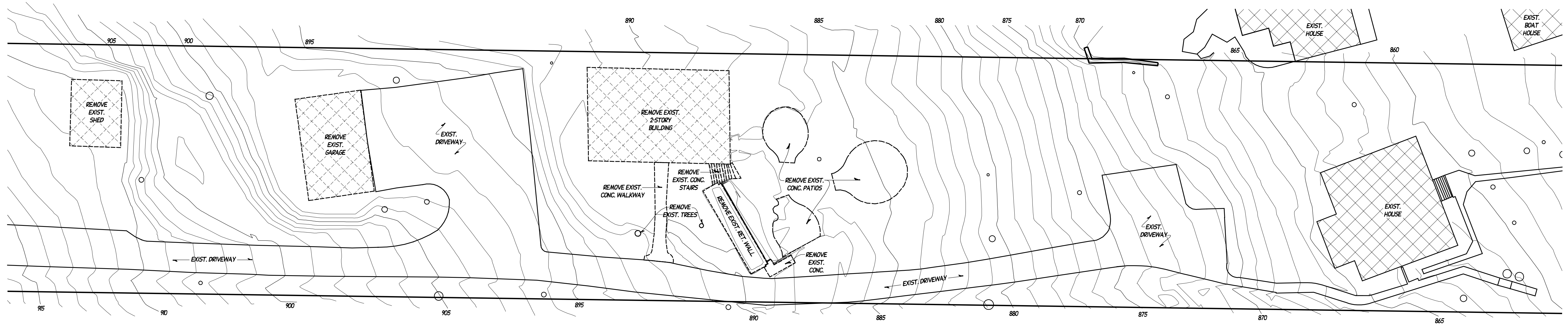
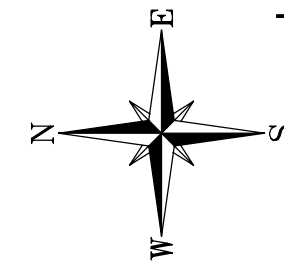
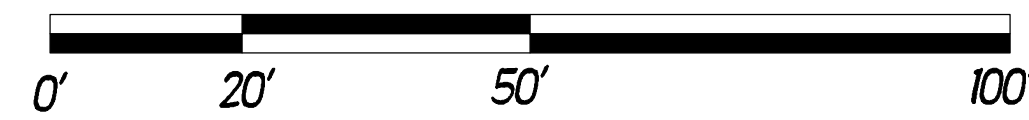
JOB NUMBER
162620-D

SHEET NO.
DETACHED GARAGE
2 OF 5

EXIST. & DEMO SITE PLAN

SCALE: 1:20

NOTE:
INFORMATION ON SITE PLAN IS ONLY APPROXIMATE.
REFER TO APPROVED SURVEY PLAN FOR ACTUAL
BUILDING LOCATION AND GRADING PLAN.



LOT INFORMATION

LOT AREA = 157,486 SQ.FT.
WAUKESHA COUNTY: PARKS & LAND USE / PLANNING & ZONING:
A-2 RURAL HOME DISTRICT

ACCESSORY BUILDINGS = 2% OF LOT AREA
2% OF 157,486 SQ.FT. = 3,149 SQ.FT.

EXIST BOAT HOUSE: 623 SQ.FT.
PROPOSED DETACHED GARAGE: 2,448 SQ.FT.
TOTAL: 3,071 SQ.FT.

SUMMATION: THE TOTAL ACCESSORY BUILDINGS
3,071 SQ.FT. IS LESS THAN THE 3,149 SQ.FT. ALLOWED

A-2 RURAL HOME DISTRICT: OFFSET (SECTION 3(H)3)

FOR LOT WIDTHS BETWEEN 84'-120' THE
REQUIRED SETBACK IS 14'-0"

MAXIMUM HEIGHT - ACCESSORY STRUCTURES: 18'-0"

FOR EACH 1'-0" OF INCREASED SETBACK,
THE HEIGHT IS INCREASED BY 1'-0"

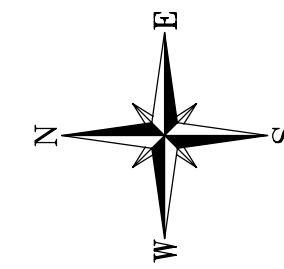
SETBACK INCREASED BY 7'-0" (FROM 14'-0" TO 21'-0")
MAXIMUM HEIGHT INCREASED BY 7'-0" (FROM 18'-0" TO 25'-0")

PROPOSED DETACHED GARAGE HEIGHT: 24'-6"

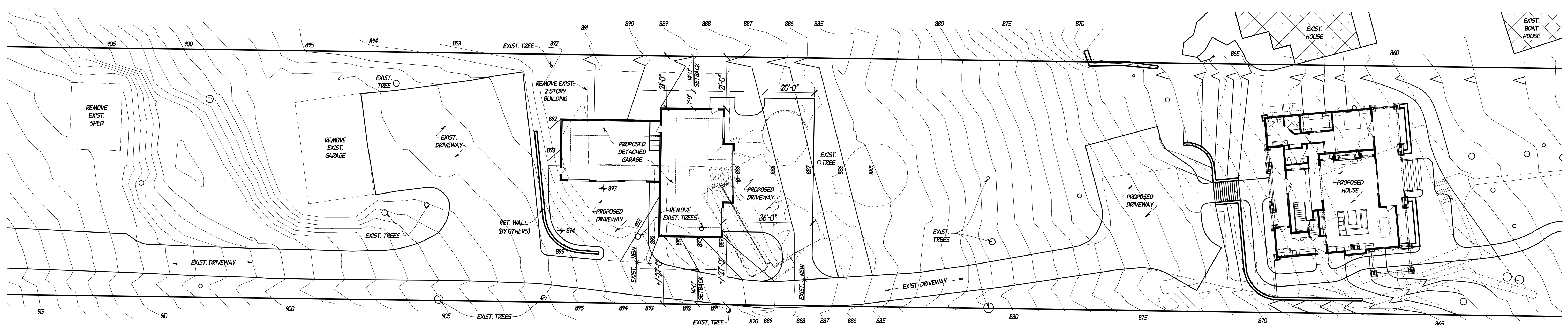
PROPOSED SITE PLAN

SCALE: 1:20

NOTE:
INFORMATION ON SITE PLAN IS ONLY APPROXIMATE.
REFER TO APPROVED SURVEY PLAN FOR ACTUAL
BUILDING LOCATION AND GRADING PLAN.



889.66 = TOP OF STAND. CONC. FOUND.
885.66 = TOP OF STAND. CONC. FTG.



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TOWN OF DELAFIELD SUBMITTAL - 9/11/23

DESIGNED BY
B. TOM

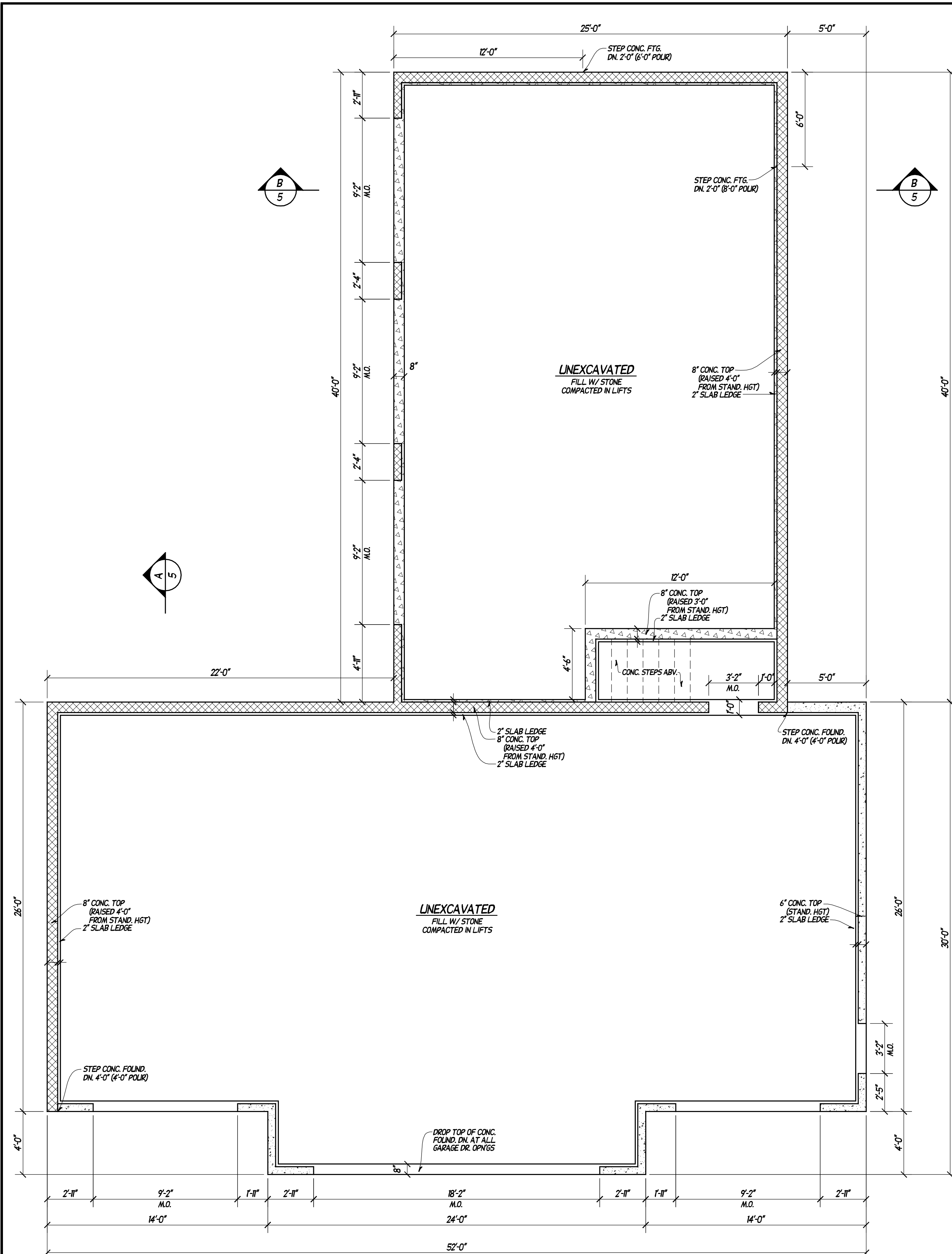
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CHECKED
B. TOM

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SHEET NO.
DETACHED GARAGE
3 OF 5



FOUNDATION PLAN

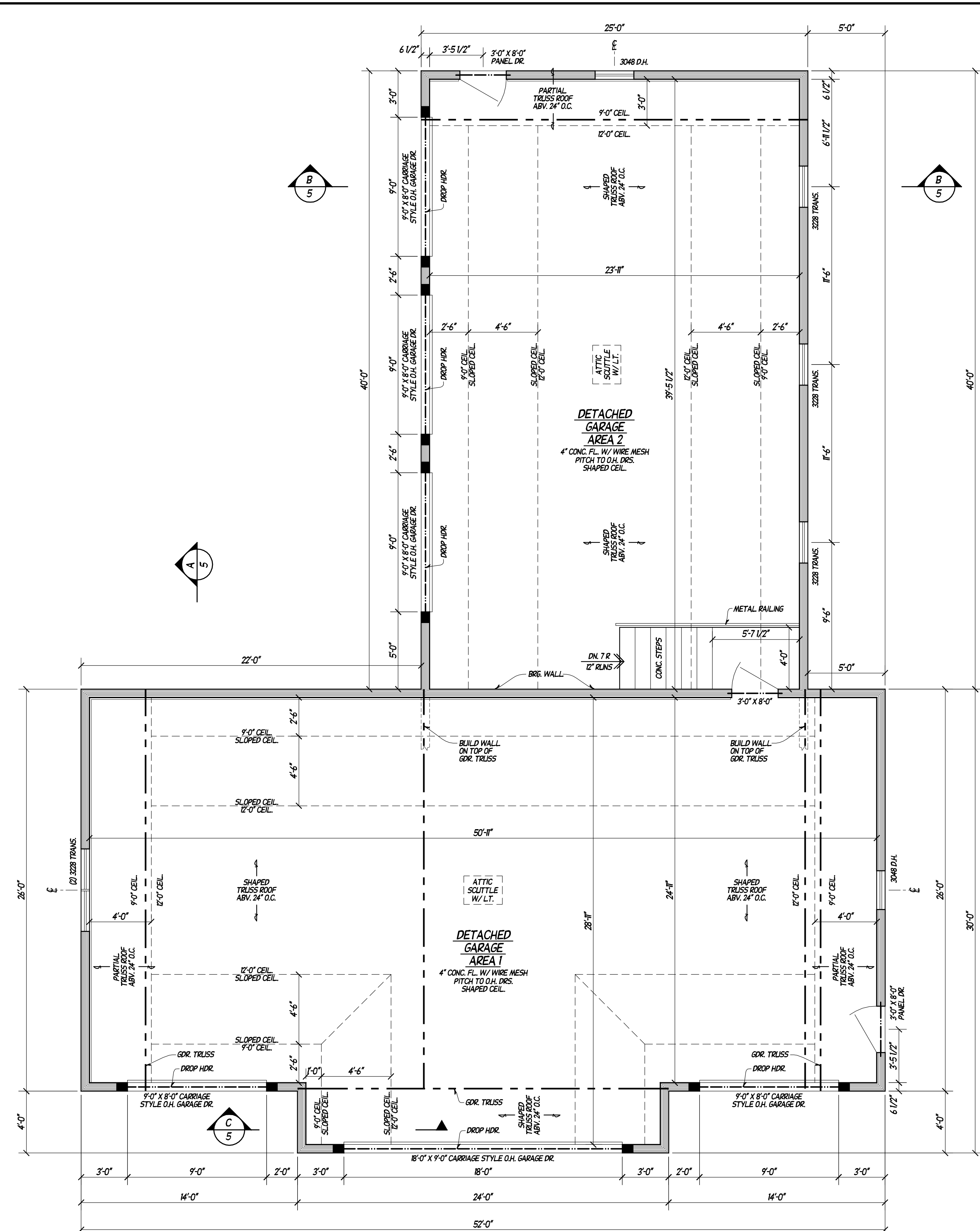
SCALE: 1/4" = 1'-0"

- NOTES:**
- 4'-0" POURED CONC. FOUND. WALL, EXCEPT WHERE NOTED
 - POURED CONC. FOUND. WALLS W/ STEEL REBAR.

WALL HATCH LEGEND:

- MASONRY LEDGES, HGT'S. AS RECD
- CONC. TOP, STAND, HGT.
- CONC. TOP, UP 3'-0" FROM STAND, HGT.
- CONC. TOP, UP 4'-0" FROM STAND, HGT.

- 889.66 - TOP OF STAND, CONC. FOUND.
- 885.66 - TOP OF STAND, CONC. FTG.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- DETACHED GARAGE AREA 1: 1448 SQ.FT.
 DETACHED GARAGE AREA 2: 1000 SQ.FT.
 TOTAL DETACHED GARAGE: 2448 SQ.FT.

- NOTES:**
- WALL HGT'S. VARY, SEE SECTIONS FOR DETAILS
 - WIN. NOTES: -ALL WINDOW NUMBERS INDICATE APPROX. FRAME SIZE (IN INCHES), SEE ELEV. & SECTIONS FOR NOTED HGT'S. -ALL WIN. & DR. R.O. HGT'S. ARE +/- VERIFY ACTUAL R.O. HGT'S. W/ WIN & DR. MANUF., ADJ. AS REQUIRED.
 - ALL WALL DIMENSIONS REFER TO FINISH WALL SIZES.

TOWN OF DELAFIELD SUBMITTAL - 9/11/23

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 PEWaukee, WI, 53072

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DRAWN BY		CHECKED
M.J.V.		B. TOM

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 DETACHED GARAGE
 4 OF 5

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 PEWAUKEE, WI, 53072

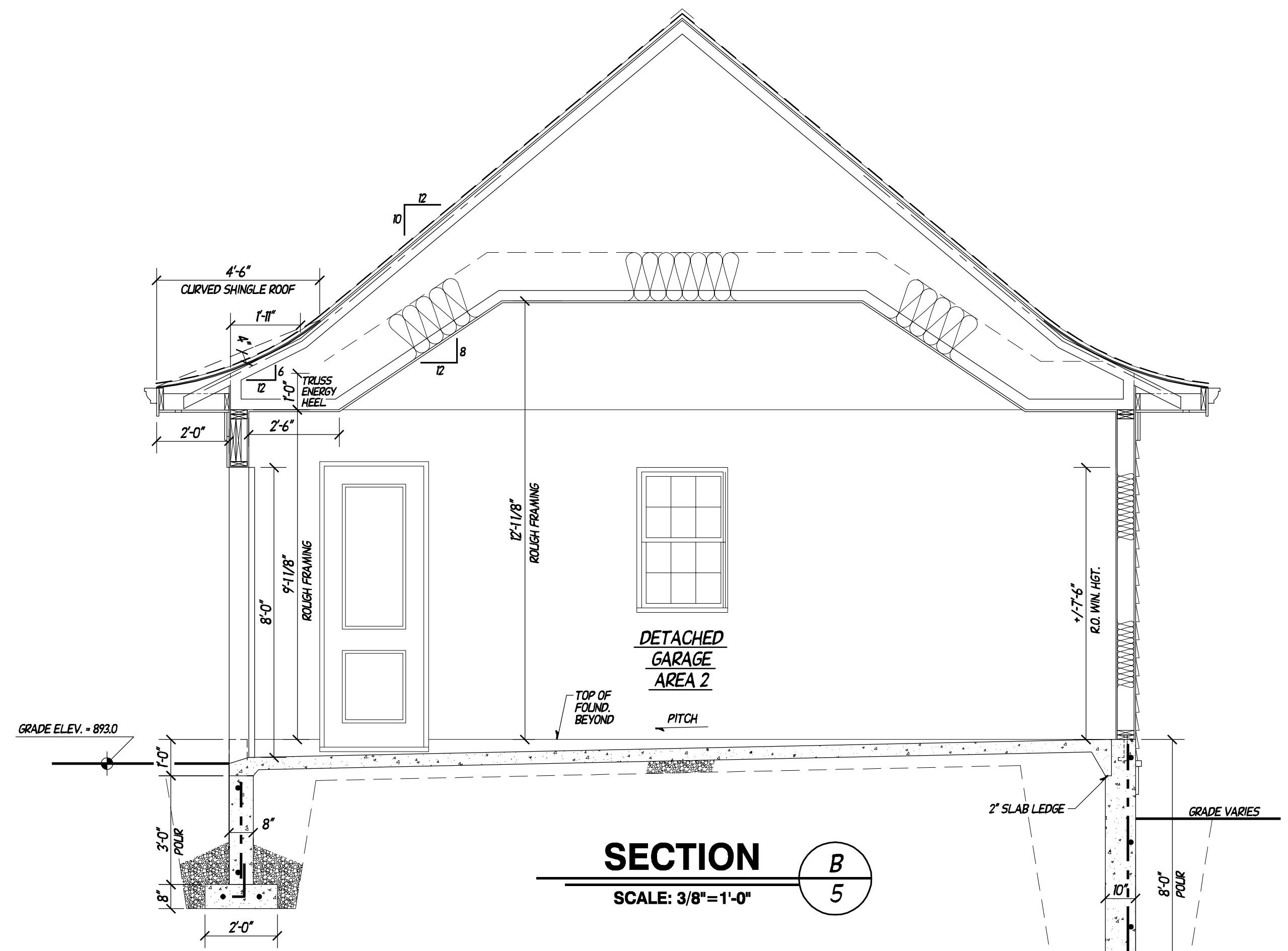
TOWN OF DELAFIELD SUBMITTAL - 9/11/23

DESIGNED BY	COMPLETION DATE	REVISIONS
B. TOM	NOT COMPLETE	ADS X
DRAWN BY		CHECKED
M. J.V.		B. TOM

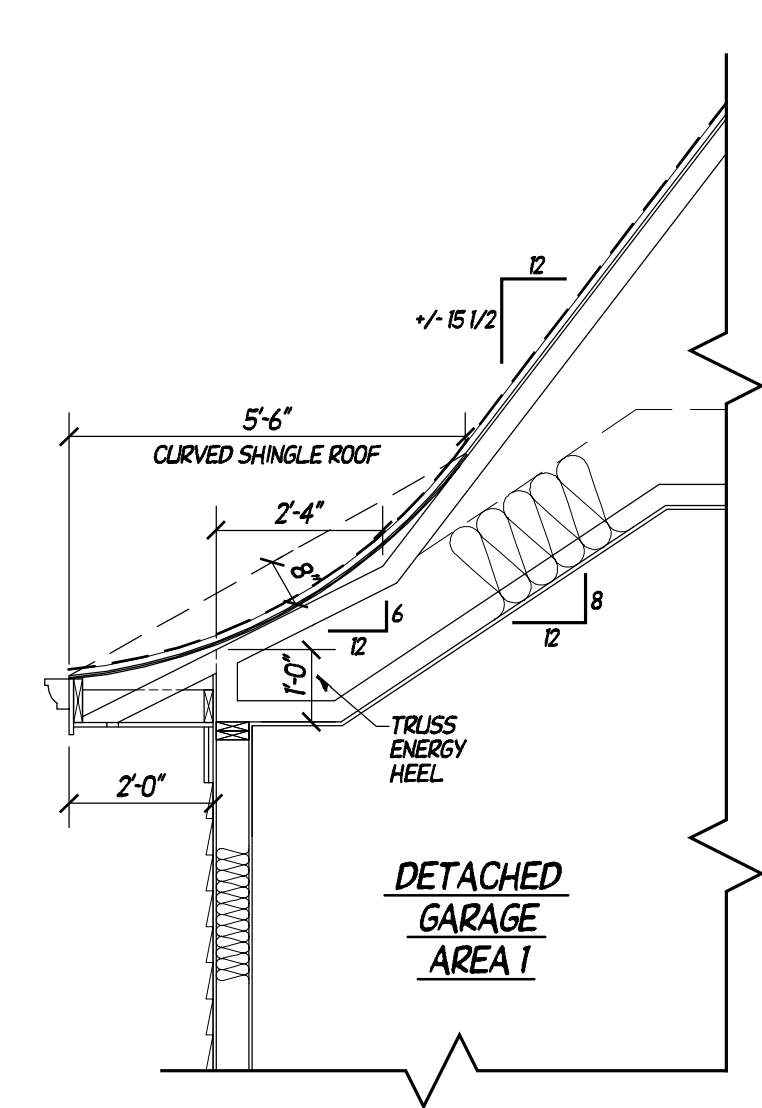
AD.S ARCHITECTURAL DEVELOPMENT SERVICES, INC.
 WWW.ARCHITECTURALDEVELOPMENTSERVICES.COM
 150 NORTH SUNNY SLOPE RD STE 250
 BROOKFIELD, WI 53005
 (262) 787-1701

JOB NUMBER
162620-D

SHEET NO.
DETACHED GARAGE
5 OF 5



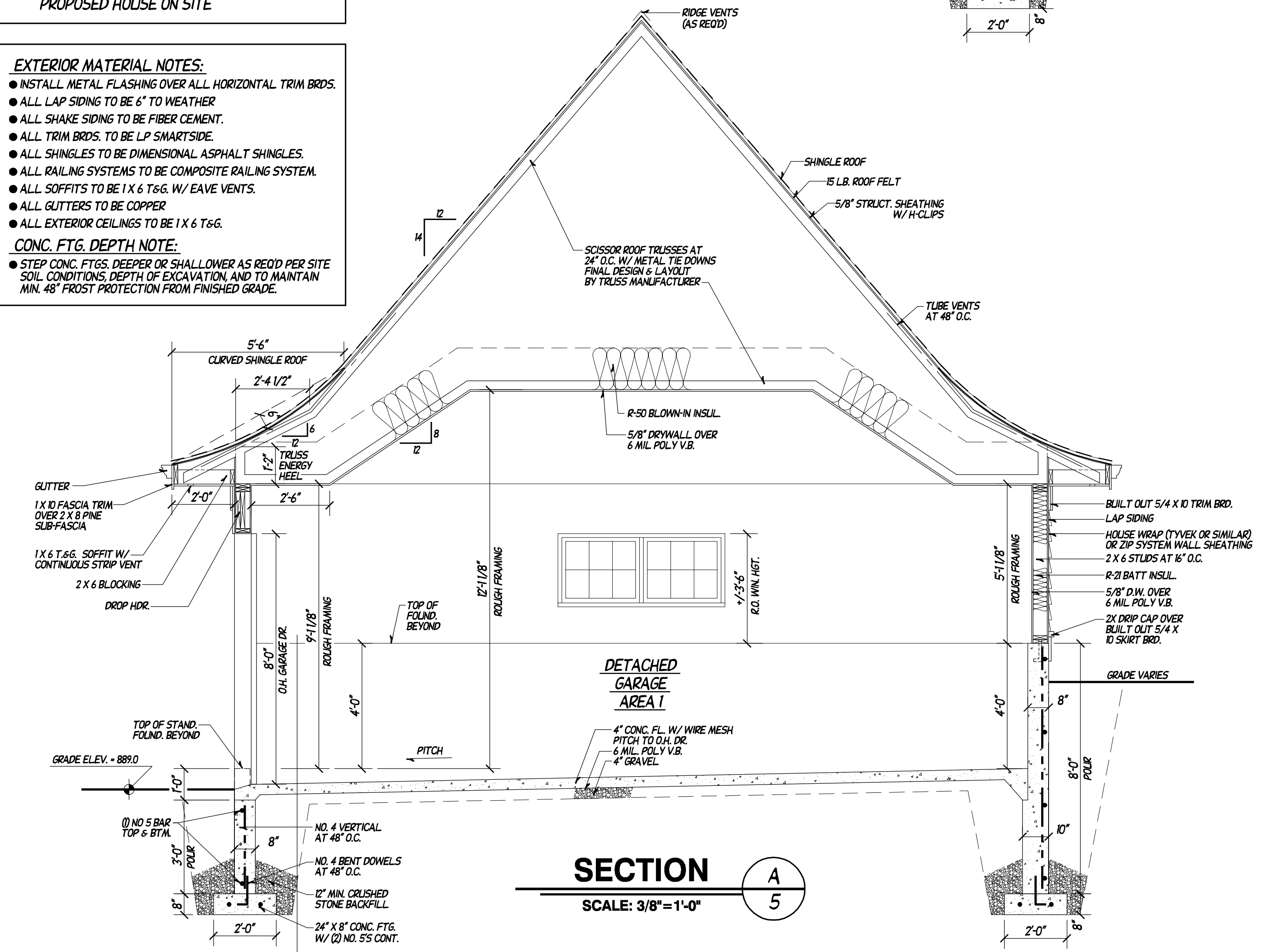
SECTION B
 SCALE: 3/8"=1'-0"



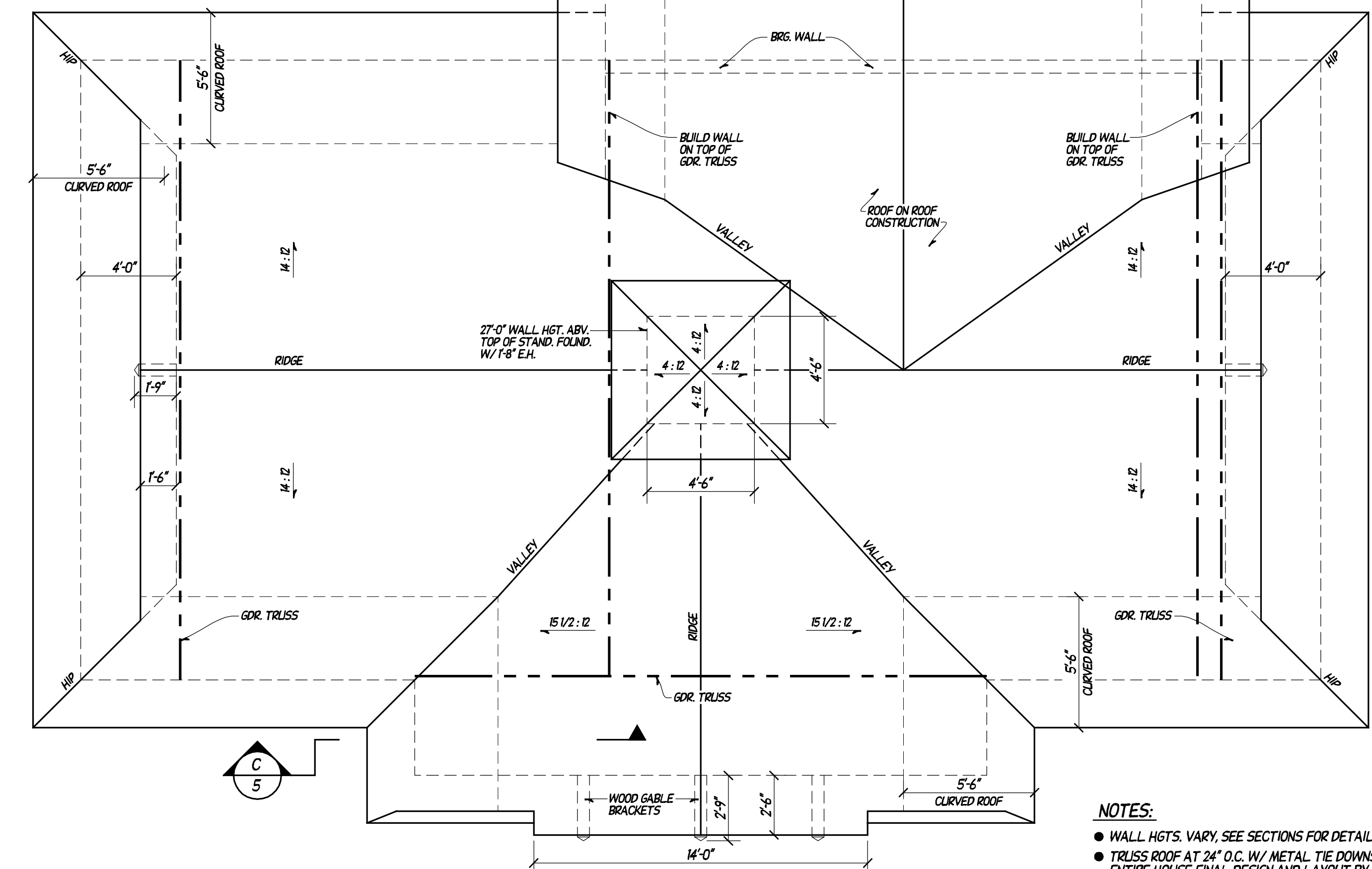
SECTION C
 SCALE: 3/8"=1'-0"

NOTE:
 ● ALL MATERIALS & DETAILS TO MATCH PROPOSED HOUSE ON SITE

EXTERIOR MATERIAL NOTES:
 ● INSTALL METAL FLASHING OVER ALL HORIZONTAL TRIM BRDS.
 ● ALL LAP SIDING TO BE 6" TO WEATHER
 ● ALL SHAKE SIDING TO BE FIBER CEMENT.
 ● ALL TRIM BRDS. TO BE LP SMARTSIDE.
 ● ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.
 ● ALL RAILING SYSTEMS TO BE COMPOSITE RAILING SYSTEM.
 ● ALL SOFFITS TO BE 1X6 T&G, W/ EAVE VENTS.
 ● ALL GUTTERS TO BE COPPER
 ● ALL EXTERIOR CEILINGS TO BE 1X6 T&G.
CONC. FTG. DEPTH NOTE:
 ● STEP CONC. FTGS. DEEPER OR SHALLOWER AS RECD PER SITE SOIL CONDITIONS, DEPTH OF EXCAVATION, AND TO MAINTAIN MIN. 48" FROST PROTECTION FROM FINISHED GRADE.



SECTION A
 SCALE: 3/8"=1'-0"



ROOF PLAN
 SCALE: 1/4"=1'-0"

NOTES:
 ● WALL HGTS. VARY, SEE SECTIONS FOR DETAILS
 ● TRUSS ROOF AT 24" O.C. W/ METAL TIE DOWNS, ENTIRE HOUSE FINAL DESIGN AND LAYOUT BY TRUSS MANUFACTURER
 ● 1-2" ENERGY HEEL ON ALL 15:12 TRUSSES, 1-0" ENERGY HEEL ON ALL 12:12 TRUSSES
 ● ALL ROOF PITCHES AS NOTED ON PLAN (SEE SECTION FOR CURVED ROOF DETAILS)
 ● INSTALL RIDGE VENTS AS RECD.
 ● INSTALL ICE & WATER SHIELD MEMBRANE AT ALL VALLEYS, DRIP EDGES, & TROUBLE AREAS.
 ● ALL SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES.